



TOWN OF BLACK MOUNTAIN

160 Midland Avenue ♦ Black Mountain ♦ N.C. ♦ 28711

Phone: (828) 419-9300 ♦ Fax: (828) 669-2030

MEMORANDUM

To: Town of Black Mountain Historic Preservation Commission
From: Jennifer Tipton, Senior Admin
Re: Agenda Packet for March 20, 2024
Date: March 11, 2024

The **Town of Black Mountain Historic Preservation Commission** will meet on **Wednesday, March 20, 2024, at 6:00 p.m.** in Town Hall at 160 Midland Avenue.

Please find the following items for your information and use at the meeting:

1. The proposed agenda;
2. Draft minutes from June January 17, 2024;
3. Monte Vista Certificate of Appropriateness.

Please let Jennifer Tipton know if you are **unable** to attend this meeting.
jennifer.tipton@tobm.org or (828) 419-9371.

The Town of Black Mountain is committed to providing accessible facilities, programs and services for all people in compliance with the American with Disabilities Act. Should you need assistance or a particular accommodation for this meeting, please inform Jennifer Tipton at (828) 419-9371 or by email at jennifer.tipton@tobm.org.

CC: Jessica Trotman, Planning Director
Russell Cate, Planner 1/Zoning Administrator



PUBLIC NOTICE
AVISO PÚBLICO

BLACK MOUNTAIN HISTORIC PRESERVATION COMMISSION

REGULAR MEETING
REUNIÓN ORDINARIA

Wednesday, March 20, 2024, at 6:00 p.m.
Miércoles 22 de Marzo de 2024, a las 6:00 p.m.

The Black Mountain Historic Preservation Commission will meet for their regular monthly meeting on **Wednesday, March 20, 2024, at 6:00 p.m.** at Town Hall, 160 Midland Avenue, Black Mountain, NC.

La Comisión de Preservación Histórica de Black Mountain realizará su meeting mensual regular **el miércoles 20 de Marzo de 2024 a las 6:00 p.m.** en el Ayuntamiento, 160 Midland Avenue, Black Mountain, NC.

The meeting is open to the public.
La reunión está abierta al público.

Jennifer Tipton
Senior Admin

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La ciudad de Black Mountain se compromete a proporcionar instalaciones, programas y servicios accesibles para todas las personas en cumplimiento con la Ley de Estadounidenses con Discapacidades (ADA). Si necesita ayuda o un alojamiento en particular para esta reunión, comuníquese con Jennifer Tipton al (828) 419-9371 o por correo electrónico a Jennifer.tipton@tobm.org.

Posted to the Town Bulletin Board 03/01/2024
www.townofblackmountain.org



**Historic Preservation Commission Regular Meeting
March 20, 2024**

PROPOSED AGENDA

I. CALL TO ORDER

- Welcome
- Determination of Quorum

II. ADOPTION OF AGENDA

- **Motion:** To adopt the agenda as presented [or as amended]

III. ADOPTION OF MINUTES

- **Motion:** To adopt the minutes of January 17, 2024, as written [or as amended]

IV. OLD BUSINESS

V. NEW BUSINESS

- Monte Vista Certificate of Appropriateness Request

VI. COMMUNICATION FROM HISTORIC PRESERVATION COMMISSION

VII. COMMUNICATION FROM STAFF

VIII. ADJOURNMENT

TOWN OF BLACK MOUNTAIN HISTORIC PRESERVATION COMMISSION

The Black Mountain Historic Preservation Commission held its regular meeting on Wednesday, January 17, 2024, at 6:00 p.m. in Town Hall at 160 Midland Avenue, Black Mountain, North Carolina.

I. CALL TO ORDER

The meeting was called to order at 6:07 p.m. with the following members present:

Amy Pate
Richard House
Debra Norman

Absent:

Jay Parmar, Chair
Leigh Vidrine

Staff:

Jennifer Tipton, Senior Admin
Russell Cate, Planner I/Zoning Administrator

The meeting was called to order at 6:07 p.m. and duly constituted and opened for business with a quorum of three (3) regular members.

II. ADOPTION OF AGENDA

The agenda was adopted as presented by consensus.

III. ADOPTION OF MINUTES

Amy Pate made a motion to adopt the minutes of November 15, 2023, as written. The motion was seconded by Richard House and approved by a vote of 3-0.

IV. OLD BUSINESS

None.

V. NEW BUSINESS

1. Section 3 Review for Design Standards and Principles

Section 3 details the principles and standards for the exterior of structures. This includes doors, windows, storefronts, porches, roofs, and foundations. Jennifer Tipton went through each and highlighted the main principles and standards for each. The Commission suggested requiring maintenance inspections of structures on an annual basis. Debra Norman asked about the possibility of having a set of contractors who could provide the inspections free of charge and provide a quote or bid to the owner. Richard House asked how that would work with the Town's procurement laws and Ms. Tipton said she will check. At the very least, staff can provide a list of contractors who could provide inspections and do any maintenance or repair work. Ms. Tipton highlighted the new section of disaster preparedness and suggested that the Commission could do a workshop in conjunction with the Fire Department and the Building Inspector on disaster preparedness for the buildings downtown. Ms. Tipton said that there are about three more sections left to review in addition to the appendices.

Historic Preservation Commission Regular Meeting
January 17, 2024

**VI. COMMUNICATION FROM HISTORIC PRESERVATION
COMMISSION**

Debra Norman said that Amazon has lead testing kits for as little as \$18.00 for thirty kits and a certificate of a negative test could be provided to the business.

Ms. Norman also said that she had looked into the newsstands and that there are options available that group three or four spaces together and come in black or gray. Another option would be to require that the owners paint the stands. Amy Pate mentioned having a contest for artists to refurbish the newsstands and then a prize could be awarded to the winner. Ms. Norman asked about the news stands being on Town property, meaning the sidewalk, and Ms. Tipton said that she would have to check with the attorney because sidewalks are typically considered public space.

Ms. Norman also talked about the possibility of having a map available showing the buildings in the historic district with a brief description of what the building was in the past. The Commission could review the map every six months to ensure the content is current. It was also suggested that a map of local restaurants could be created as well.

Ms. Norman spoke about the CORE Strategic Plan and possibly having a walking map of the arts and crafts stores in the downtown district. Amy Pate mentioned Art Walk Nights that could be done on a monthly basis.

VII. COMMUNICATION FROM STAFF

Jennifer Tipton said that Casey McKissick would like to take the Commission on a tour of the Ice House building. Ms. Tipton will send out some dates and times to the Commission and set up the tour.

VII. ADJOURNMENT

Amy Pate made a motion to adjourn the meeting at 6:55 p.m. The motion was seconded by Richard House and approved by a vote of 3-0.

Prepared by:

Jay Parmar, Chair

Jennifer Tipton, Senior Admin

TOWN OF BLACK MOUNTAIN PLANNING AND DEVELOPMENT SERVICES

CERTIFICATE OF APPROPRIATENESS APPLICATION

www.townofblackmountain.org

PROPERTY INFORMATION		
Address: 310 W STATE ST BLACK MNTN., NC 28711		PIN #: 061925344700000
Property Owner: NC-I RIDGELINE LLC (PETER EVERS)		
Address: PO BOX 682 CLAYTON, GA, 30525-0018		Phone #: 404-310-7071
APPLICANT INFORMATION		
Name: ROWHOUSE ARCHITECTS (ROBIN RAINES)		Phone #: 828-231-1931
Address: 1 N PACK SQUARE, SUITE 410 ASHEVILLE, NC 28801		Email: ROBIN@ROWHOUSE-ARCHITECTS.COM
PROJECT INFORMATION		
☐ Minor Work ☒ Major Work		
Description of Project: Conversion of existing farmhouse into 10 hotel rooms. Exterior clapboard walls to be cleaned, repaired and painted. Site modifications will create parking and ADA accessibility.		
Site plan, sketches, drawings, photographs, specifications and other information must be attached.		
ACKNOWLEDGEMENT		
I certify that all of the information presented by the undersigned of this application is accurate to the best of my knowledge, information and belief.		
ROBIN R. RAINES		3.6.24
Print Name	Signature	Date
OFFICE USE ONLY		
Date Received:	Fee:	Date Paid:
Cash: Check: Credit:	Meeting Date:	
Action: ☐ Approved ☐ Approved with Conditions ☐ Denied ☐ Withdrawn ☐ COA Not Required ☐ Staff Approval		

TOWN OF BLACK MOUNTAIN PLANNING AND DEVELOPMENT SERVICES

Certificate of Appropriateness applications and all supporting information must be received no later than 21 days prior to the Historic Preservation Commission meeting. Incomplete applications will not be accepted. The Commission meets on the third Wednesday of each month at 6:00 p.m. in the Board Room of Town Hall, 160 Midland Avenue. Applicants are strongly encouraged to attend the meeting.

Appeals of decisions of the Historic Preservation Commission may be taken to Superior Court of Buncombe County in accordance with N.C.G.S. 160D-947 and 160D-1402. Appeals are in the nature of “certiorari”, which is a review of the record of the meeting to ensure that the commission followed proper procedures in making its decision.

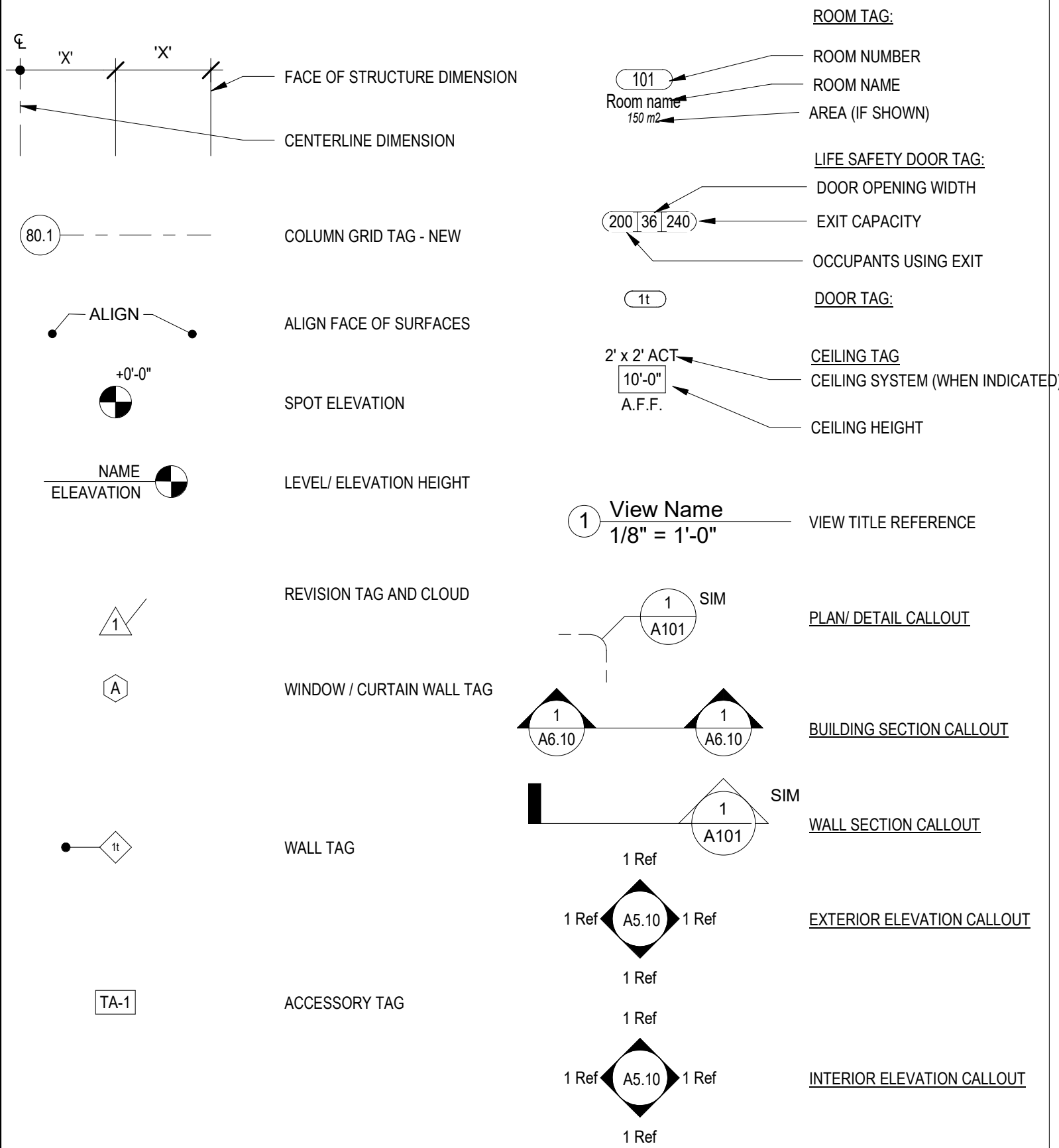
Certificates of Appropriateness remain in force for the duration of a project. However, if a period of one year passes and no progress has been made toward completing the project, the COA expires, and a new application must be submitted and approved before work may resume.

A new COA application must be submitted for any changes to approved plans. Deviating from approved plans constitutes a violation of the historic district regulations and is subject to civil penalties. The current maximum penalty is \$50 a day, with each day constituting a separate offense, not to exceed \$500.00.

The Certificate of Appropriateness does not relieve the property owner from the responsibility of obtaining any other required permits. Building permits and other permits may be required even if a Certificate of Appropriateness is not required. For more information, contact the Planning and Development Department at 828-419-9300, option 4.

Documentation must be provided in a format that is legible and can be copied easily. Applications may be submitted electronically to Jennifer.tipton@tobm.org as long as they are signed.

A two-story red house with white trim and a stone foundation. The house has a green roof with a small dormer. A large yellow 'ART' sign is on the porch, and a small 'OPEN' sign is visible. The house is surrounded by trees and a clear blue sky.



ACT	ACOUSTICAL CEILING TILE	KD	KNOCKED DOWN
ADJ	ADJACENT OR ADJUSTABLE	KIT	KITCHEN
AFB	ABOVE FINISHED FLOOR	KPL	KICKPLATE
AFG	ABOVE FINISHED GRADE	LB	POUNDS
ALUM	ALUMINUM	LF	LINEAR FEET (FOOT)
BATT	BATTING	MECH	MECHANICAL
BD	BOARD	MEZZ	MEZZANINE
BLDG	BUILDING	MIN	MINIMUM
BFF	BELOW FINISH FLOOR	MISC	MISCELLANEOUS
BOT	BOTTOM OF TRUSS	MO	MASONRY OPENING
CFI/CI	CONTRACTOR FURNISHED/CONTRACTOR INSTALLED	MTL	METAL
CFI/OI	CONTRACTOR FURNISHED/OWNER INSTALLED	NA	NOT APPLICABLE
CJ	CONSTRUCTION JOINT/ CONTROL JOINT	NIC	NOT IN CONTRACT
CL	CENTER LINE	NLB	NOT LOADING
CLG	CEILING	NP	NOTICE TO PROCEED
CLR	CLEAR	NTC	ON CENTER
CMU	CONCRETE MASONRY UNIT	OI/CI	OWNER FURNISHED/CONTRACTOR INSTALLED
CO	CLEANOUT	OI/OI	OWNER FURNISHED/OWNER INSTALLED
COL	COLUMN	OPP	OPPOSITE HAND
CONC	CONCRETE	OPP	OPPOSITE
COORD	COORDINATE	P	PAINT
CORR	CORRIDOR	PERF	PERFORATED
CPT	CARPET	PERP	PERPENDICULAR
DEMO	DEMOLITION	PL	PLATE
DIA	DIAMETER	PLAM	PLASTIC LAMINATE
DRWGS	DRAWINGS	PLYWD	PLYWOOD
DS	DOWNSPOUT	PREFAB	PREFABRICATE
DSP	DRY STANDPIPE	PREFIN	PREFINISH
EFS	EXTERIOR INSULATION AND FINISH SYSTEM	PT	PRESSURE TREATED
EJ	EXPANSION JOINT	R	RADIUS
ELEC	ELECTRIC	REINF	REINFORCE
ELEV	ELEVATOR OR ELEVATION	RVL	REVEAL
EOS	EDGE OF SLAB	SAB	SOUND ATTENUATION BLANKETS
EQ	EQUIPMENT	SAPC	SUSPENDED ACOUSTICAL PLASTER CEILING
EQUIP	EQUIPMENT	SATC	SUSPENDED ACOUSTICAL TILE CEILING
EWH	ELECTRIC WATER HEATER	SIM	SIMILAR
EXIST	EXISTING	SPEC	SPECIFICATION(S)
FD	FLOOR DRAIN	STL	STEEL
FDC	FIRE DEPARTMENT CONNECTION	STOR	STORAGE
FE	FIRE EXTINGUISHER	TEMP	TEMPORARY
FEC	FIRE EXTINGUISHER CABINET	TO	TOP OF
FIN GR	FINISH GRADE	TOM	TOP OF MASONRY
FOF	FACE OF FINISH	TOP	TOP OF PARAPET
FOM	FACE OF MASONRY	TOS	TOP OF SUBFLOOR
FOS	FACE OF STUD	TOW	TOP OF WALL
FOW	FACE OF WALL	TYP	TYPICAL
GA	GAUGE	UNO	UNLESS NOTED OTHERWISE
GALV	GALVANIZED	VERT	VERTICAL
GL	GENERAL CONTRACTOR	VF	VERIFY IN FIELD
GLZ	GLAZING	VJ	V JOINT
GWB	GYPNUM WALL BOARD	VNR	VENEER
HB	HOSE BIBB	WI	WITH
HC	HOLLOW CORE	WIO	WITHOUT
HCP	HANDICAPPED	WO	WOOD
HCWD	HOLLOW CORE WOOD DOOR	WH	WATER HEATER
HDW	HARDWARE	WRB	WEATHER RESISTIVE BARRIER
HDWD	HARDWOOD	WSCOT	WAINSCOT
HM	HOLLOW METAL	WWM	WELDED WIRE MESH
INSUL	INSULATION		

3/6/2024 4:21:41 PM

2018 APPENDIX B

BUILDING CODE SUMMARY

FOR ALL COMMERCIAL PROJECTS

(EXCEPT 1 AND 2 FAMILY DWELLINGS AND TOWNHOUSES)

Name of Project: The Farmhouse

Address: 308 W State Street, Black Mountain NC

Proposed Use: Residential (hotel)

Owner/Authorized Agent: Ridgeline Investment Partners

Owned By: Ridgeline Investment Partners ☐ City/County ☒ Private

Code Enforcement Jurisdiction: ☐ City: ☐ County: ☐ State

Zip Code: 28

E-mail: robin@rowhouse-architects.com

☐ State

LEAD DESIGN PROFESSIONAL: Robin R. Raines, R.A.

DESIGNER

FIRM

NAME

LICENSE#

TELEPHONE#

EMAIL

Architectural

Rowhouse Architects

Robin Raines

10084

823-231-1931

robin@rowhouse-architects.com

Interiors

fin. Studio

Stacey Hodges

Civil

Electrical

Fire Alarm

Plumbing

Mechanical

Sprinkler/Standpipe

Structural

Medlock & Associates Eng.

Edward Medlock

828-232-4448

emedlock@medlockengr.com

Retaining Walls->5' High

Other

2018 EDITION OF NC CODE:

☐ New Building ☐ Addition ☒ Renovation ☐ 1st Time Interior Completion

☐ Shell / Core ☐ Phased Construction - Shell / Core

☐ Prescriptive ☐ Repair ☐ Chapter 14

EXISTING:

Alteration:

☐ Level I ☐ Level II ☒ Level III

☒ Historic Property ☒ Change of Use

CONSTRUCTED XX

RENOVATED

RISK CATEGORY (Table 1604.5):

Current: ☐ I ☐ II ☐ III ☐ IV

Proposed: ☐ I ☐ II ☐ III ☐ IV

GROSS BUILDING AREA:

Gross Floor Area- Zoning

Level	Area
Basement Floor	992 SF
1st Floor	1989 SF
2nd Floor	1989 SF
	4970 SF

Gross Floor Area- Building Code

Level	Area	Perimeter
Basement Floor	907 SF	120' - 8"
1st Floor	1915 SF	185' - 6"
2nd Floor	1915 SF	185' - 6"
	4737 SF	
	4737 SF	

BUILDING DATA

Construction Type: ☐ I-A ☐ II-A ☐ III-A ☐ IV ☐ V-A ☐ I-B ☐ II-B ☐ III-B ☒ V-B

Sprinklers: ☐ No ☐ Partial ☒ Yes ☒ NFPA 13 ☐ NFPA 13R ☐ NFPA 13D

Standpipes: ☒ No ☐ Yes Class ☐ I ☐ II ☐ III ☐ Wet ☐ Dry

Fire District: ☐ No ☐ Yes Flood Hazard Area: ☒ No ☐ Yes

Building Height: 18'-0" Feet

Primary Occupancy Classifications:

ALLOWABLE AREA

Assembly ☐ A-1 ☐ A-2 ☐ A-3 ☐ A-4 ☐ A-5

Business ☐

Educational ☐

Factory ☐ F-1 Moderate ☐ F-2 Low

Hazardous ☐ H-1 Detonate ☐ H-2 Deflagrate ☐ H-3 Combust ☐ H-4 Health ☐ H-5 HPM

Institutional ☐ I-1 ☐ I-2 ☐ I-3 ☐ I-4

☐ I-3 Condition ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5

Mercantile ☐

Residential ☒ R-1 ☐ R-2 ☐ R-3 ☐ R-4

Storage ☐ S-1 Moderate ☐ S-2 Low ☐ High-Piled

☐ Parking Garage ☐ Open ☐ Enclosed ☐ Repair

Utility and Miscellaneous ☐

Accessory Occupancy Classification:

Incidental Uses (Table 509):

Special Uses (Chapter 4 - List Code Sections):

Special Provisions (Chapter 5 - List Code Sections):

Mixed Occupancy: ☒ No ☐ Yes Separation: 0 Hr. Exception:

☒ Non-Separated Use (508.3.2)
The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.

☐ Separated Use (508.3.3) - See below for area calculations
For each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

Actual Area of Occupancy A + Actual Area of Occupancy B < I

Allowable Area of Occupancy A + Allowable Area of Occupancy B

TYPE VB - BLDG

Frontage area increases from Section 506.3 are computed thus:
a. Perimeter which fronts a public way or open space having 20' minimum width = _____ (F)
b. Total Building Perimeter = _____ (P)
c. Ratio (F/P) = _____ (F/P)
d. W = Minimum width of public way = _____ (W)
e. Percent of frontage increase IF = 100 [F/P - 0.25] x W/30 = _____ %
Unlimited area applicable under conditions of Section 507.
Max. Building Area - total number of stories in the building x D (maximum 3 stories) (506.2).
The maximum are of open parking garages must comply with Table 406.5.4.
Frontage increase is based on the unsprinklered value in Table 506.2

STORY NO.	DESC. AND USE	BLDG. AREA PER STORY (ACTUAL)	TABLE 506.2 AREA	AREA OF SPRINKLER INCREASE	ALLOWABLE AREA
Basement Floor	S-2	992 SF	40500 SF		40500 SF
1st Floor	R-1	1989 SF	21000 SF		21000 SF
2nd Floor	R-1	1989 SF	21000 SF		21000 SF
		4970 SF			

ALLOWABLE HEIGHT @ VB BLDG			
	ALLOWABLE (TABLE 504)	SHOWN ON PLANS	CODE REFERENCE
Type of Construction	Type : VB		
Building Height in Feet (Table 504.3)	60'	Feet: 18'-0"	504.3
Building Height in Stories (Table 504.4)	R1: 3	Stories: R1: 2	504.4

FIRE PROTECTION REQUIREMENTS @ TYPE VB							
Life Safety Plan Sheet #, if Provided A0.2							
BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	REQ'D	RATING PROVIDED (W/ REDUCTION) *	DTL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	DESIGN # FOR RATED PENETRATION	DESIGN # FOR RATED JOINTS
Structural frame: Including columns, girders, trusses	--	0	0 (708.4)	--	--	--	--
Bearing walls							
Exterior	ALL	0	0	--	--	--	--
Interior	--	0	0 (708.4)	--	--	--	--
Nonbearing walls and partitions: Exterior (602)							
North	X ≥ 30'	0	0	--	--	--	--
East	X ≥ 30'	0	0	--	--	--	--
West	X ≥ 30'	0	0	--	--	--	--
South	X ≥ 30'	0	0	--	--	--	--
Interior Walls and Partitions	--	0	0	--	--	--	--
Floor construction Including supporting beams and joists	0	1	(708.3)	A0.5	*L502	A0.4	A0.4
Floor Ceiling Assembly	0	1	(708.3)	A0.5	*L502	A0.4	A0.4
Columns Supporting Floors	0	1	(708.3)	A0.4	U327	A0.4	A0.4
Roof Construction, including supporting beams and joists	0	0	--	--	--	--	--
Roof Ceiling Assembly	0	0	--	--	--	--	--
Columns Supporting Only Roof	N/A	N/A	--	--	--	--	--
Shafts - Exit	1	**EXSTG.	--	--	--	--	--
Shafts - Other	1	N/A	--	--	--	--	--
Corridor Separation	1	0.5 (708.3 (1))	A0.4	U327	A0.4	A0.4	A0.4
Occupancy / Fire Barrier Separation	1	1	A0.4	*L502	A0.4	A0.4	A0.4
Smoke Barrier Separation	N/A	N/A	--	--	--	--	--
Smoke Partition	N/A	N/A	--	WP 5530 / U327	--	--	--
Tenant / Dwelling Unit Separation	1	1	A0.4				
Incidental Use Separation	1	N/A	--	--	--	--	--

* MODIFIED EXISTING FLOOR ASSEMBLY - 2018 NCBC TABLE 721.1(3); ASSEMBLY 21-1.1

** PER 1203.7 NCCEB WHERE 1-HR FIRE-RESISTANCE-RATED CONSTRUCTION IS REQ'D BY THESE PROVISIONS, IT NEED NOT BE PROVIDED, REGARDLESS OF CONSTRUCTION OR OCCUPANCY, WHERE THE EXISTING WALL AND CEILING FINISH IS WOOD OR METAL LATH AND PLASTER.

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: ☐ No ☒ Yes

Exit Signs: ☐ No ☒ Yes

Fire Alarm: ☐ No ☒ Yes

Smoke Detection Systems: ☐ No ☐ Yes ☐ Partial

Panic Hardware: ☒ No ☐ Yes

LIFE SAFETY PLAN REQUIREMENT

Life Safety Plan Sheet #: A0.2

See Civil ☒ Fire and/or smoke rated wall locations (Chapter 7)

Existing ☒ Assumed and real property line locations (if not on site plan)

☐ Exterior wall opening area with respect to distance to assumed property lines (705.8)

☐ Occupancy types for each area as it relates to occupant load calculation (Table 1004.1.1)

☒ Occupant loads for each area

☒ Exit access travel distances (1017)

☒ Common path of travel distances (1006.2.1 + 1006.3.2(1))

☒ Dead end lengths (1020.4)

☒ Clear exit widths for each exit door

☒ Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)

☒ Actual occupant load for each exit door

☒ A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation

n/a ☐ Location of doors with panic hardware (1010.1.10)

n/a ☐ Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)

n/a ☐ Location of doors with electromagnetic egress locks (1010.1.9.8)

n/a ☐ Location of doors equipped with hold-open devices

n/a ☐ Location of emergency escape windows (1030)

☒ The square footage of each fire area (202)

n/a ☐ The square footage of each smoke compartment for Occupancy Classification I-2 (407.4)

☒ Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE ROOMS						
SECTION 1107						
TOTAL UNITS	ACCESSIBLE MOBILITY UNITS REQUIRED	ACCESSIBLE MOBILITY UNITS PROVIDED	ACCESSIBLE COMM. DEVICE REQUIRED	ACCESSIBLE COMM. DEVICE PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED
10	1	1	2	2 (1 M&C)	0	0

APPLICABLE ACCESSIBILITY CODE - ICC A117.1-2009

2018 NCEBC Chapter 14 Evaluation

General Building Information

Occupancy

Construction Type

Is the Building Fully Sprinklered?

R1

6B

NFPA 13

1401.6.1: Building Height

Allowable Height, ft (NCBC Table 503)

Allowable Height, ft (increased)

Existing Building Height, ft

Allowable Height in stories

Existing Building Height in stories

Construction Factor

40

60

18

3

2

1

Height Value, ft (Eq. 14-1)

Height Value, stories (Eq. 14-2)

SAFETY PARAMETER

3.36

1

1

1401.6.2: Building Area

Perimeter of Entire Building, ft

Perimeter that fronts on public way, ft

Width of public way, ft

Tabular Area per story (NCBC Table 503)

Actual Building Area, sq ft

Area Increase Factor for sprinklers

Area Increase Factor for frontage

Allowable Area, per floor, sq ft

185.5

95

30

7000

4970

2

0.26

22820

Area Value (Eq. 14-4)

SAFETY PARAMETER

14.88

10.5

10.5

1401.6.3: Compartmentation

Compartment Size, sq ft

Compartmentation Value (CV)

SAFETY PARAMETER

4970

16.07

16.07

16.07

1401.6.4: Tenant & Dwelling Unit Separations

Unit Separation Category

SAFETY PARAMETER

Category c

0

0

1401.6.5: Corridor Walls

Corridor Walls Category

SAFETY PARAMETER

Category c

0

0

1401.6.6: Vertical Openings

Maximum Number of Floors Connected

Type of Protection

Protection Value

Construction Type Factor

Vertical Opening Value (Eq. 14-5)

SAFETY PARAMETER

3

1hr - 2hr

1

7

7

7

1401.6.7: HVAC Systems

HVAC System Category

SAFETY PARAMETER

Category d

0

0

1401.6.8: Automatic Fire Detection

Automatic Fire Detection Category

SAFETY PARAMETER

Category e

6

6

1401.6.9: Fire Alarm Systems

Fire Alarm Category

SAFETY PARAMETER

Category c

0

0

1401.6.10: Smoke Control

Smoke Control Category

Has compliance with Category d or e in Section 1401.6.8.1 been obtained?

SAFETY PARAMETER

Category c

Yes

3

3

1401.6.11: Means of Egress

Means of Egress Category

SAFETY PARAMETER

Category c

0

0

1401.6.12: Dead Ends

Maximum Dead End Length, ft

Dead End Width, ft

SAFETY PARAMETER

15

5

0.5

0.5

1401.6.13: Maximum Exit Access Travel Distance

Means of Egress Travel Distance, ft

Single Exit?

No

If yes, Story?

1st/Basement

Maximum Allowable Travel Distance, ft

SAFETY PARAMETER

50

250

16

16

1401.6.14: Elevator Control

Elevator Control Category

Less than 25 ft of travel above or below the primary level of elevator access for emergency personnel?

SAFETY PARAMETER

Category a

Yes

-2

-2

1401.6.15: Means of Egress Emergency Lighting

Means of Egress Lighting Category

Two or more exits?

SAFETY PARAMETER

Category c

Yes

4

4

1401.6.16 Mixed Occupancies

Mixed Occupancy Category

Does the building have mixed occupancies?

Category b

No

No

Is there separation between the mixed occupancies?

No

SAFETY PARAMETER

0

0

1401.6.17: Automatic Sprinklers

Sprinkler System Category

SAFETY PARAMETER

Category e

4

4

1401.6.18: Standpipes

Standpipe System Category

SAFETY PARAMETER

Category b

0

0

1401.6.19: Incidental Use

Are there specific occupancy areas in the building area?

Protection Provided

Protection Required

(Table 509.4.2)

SAFETY PARAMETER

Yes

None

2 Hrs & AS

-4

-4

1401.6.20 Smoke Compartmentation

Smoke Compartmentation Category

SAFETY PARAMETER

Category a

0

0

1401.6.21-2 Occupancy Specifications

1401.6.21.1 Patient ability for self preservation

Self Preservation Category

SAFETY PARAMETER

Category b

0

0

1401.6.21.2 Patient concentration

Patient Concentration Category

SAFETY PARAMETER

Category a

0

0

1401.6.21.3 Attendant to patient ratio

Attendant to Patient Ratio Category

SAFETY PARAMETER

Category b

0

0

SUMMARY

Mandatory Safety Scores

Mandatory Fire Safety

Mandatory Means of Egre

Mandatory General Safety

(MFS)

(MME)

(MGS)

21

38

38

Building Score Total Values

Fire Safety

Means of Egress

General Safety

(FS)

(ME)

(GS)

38.57

60.07

62.07

PASS!

PASS!

PASS!

NOTES:

2018 NCEBC Chapter 14 Evaluation Spreadsheet

GENERAL NOTES FOR HISTORIC BUILDING ALLOWANCES (NCEBC)

1201.5 CEILING HEIGHT
Existing ceiling heights shall be permitted to remain.

1202.4 REPLACEMENT
Replacement of existing or missing features using original materials shall be permitted. Partial replacement for repairs that match the original in configuration, height, and size shall be permitted. Replacement glazing in hazardous locations shall comply with the safety glazing requirements of Chapter 24 of the North Carolina Building Code.

1202.4.1 WIND-BORNE DEBRIS PROTECTION
Replacement of window units shall require compliance with Section 1609.1.2 of the North Carolina Building Code or Section R609.6 of the North Carolina Residential Code. Replacement of individual glass panes or sashes shall not require compliance with Section 1609.1.2 of the North Carolina Building Code or Section R609.6 of the North Carolina Residential Code.

1203.3 MEANS OF EGRESS
Existing door openings and corridor and stairway widths less than those specified elsewhere in this code may be approved, provided that, in the opinion of the code official, there is sufficient width and height for a person to pass through the opening or traverse the means of egress. When approved by the code official, the front or main exit doors need not swing in the direction of the path of exit travel, provided that other approved means of egress having sufficient capacity to serve the total occupant load are provided.

1203.4 TRANSOMS
In fully sprinklered buildings of Group R-1, R-2 or R-3 occupancy, existing transoms in corridors and other fire-resistance-rated walls may be maintained if fixed in the closed position. A sprinkler shall be installed on each side of the transom.

1203.5 INTERIOR FINISHES
The existing finishes of walls and ceilings shall be accepted when it is demonstrated that they are historic finishes.

1203.7 ONE-HOUR FIRE-RESISTANT ASSEMBLIES
Where 1-hour fire-resistance-rated construction is required by these provisions, it need not be provided, regardless of construction or occupancy, where the existing wall and ceiling finish is wood or metal lath and plaster.

1203.8 GLAZING IN FIRE-RESISTANCE-RATED SYSTEMS
Historic glazing materials are permitted in interior walls required to have a 1-hour fire-resistance rating where the opening is provided with approved smoke seals and the area affected is provided with an automatic sprinkler system.

1203.10.2 GUARD OPENINGS
The spacing between existing intermediate railings or openings in existing ornamental patterns shall be accepted. Missing elements or members of a guard may be replaced in a manner that will preserve the historic appearance of the building or structure.

1203.11 EXIT SIGNS
Where exit sign or egress path marking location would damage the historic character of the building, alternative exit signs are permitted with approval by the code official. Alternative signs shall identify the exits and egress path.

1204.1 ACCESSIBILITY REQUIREMENTS
The provisions of Sections 806 and d906, as applicable, shall apply to facilities designated as historic structures that undergo alterations, unless technically infeasible. Where compliance with he requirements for accessible routes, entrances or toilet rooms would threaten or destroy the historic significance of the building or facility, as determined by the code official, the alternative requirements of Sections 1204.1.1 through 1204.1.4 for that element shall be permitted. Exception: Type B dwelling or sleeping units required by Section 1107 of the International Building Code are not required to be provided in historic buildings.

1204.1.1 SITE ARRIVAL POINTS.
At least one accessible route from a site arrival point to an accessible entrance shall be provided.

1204.1.2 MULTILEVEL BUILDINGS AND FACILITIES
An accessible route from an accessible entrance to public spaces on the level of the accessible entrance shall be provided.

1204.1.3 ENTRANCES
At least one main entrance shall be accessible.

APPENDIX E SECTION 104

In transient lodging facilities, sleeping units with accessible communication features shall be provided in accordance with Table E104.2.1. Units required to comply with Table E104.2.1 shall be dispersed among the various classes of units.



one north pack square
asheville, north carolina
28801

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T2 828.231.1931

THE FARMHOUSE AT MONTE VISTA HOTEL
MONTE VISTA HOTEL

308 West State St.
Black Mountain NC 28711

Release / Revision Dates

No.	Description	Date
A	DD PHASE	1.31.24
B	HPC SUBMISSION	3.6.24

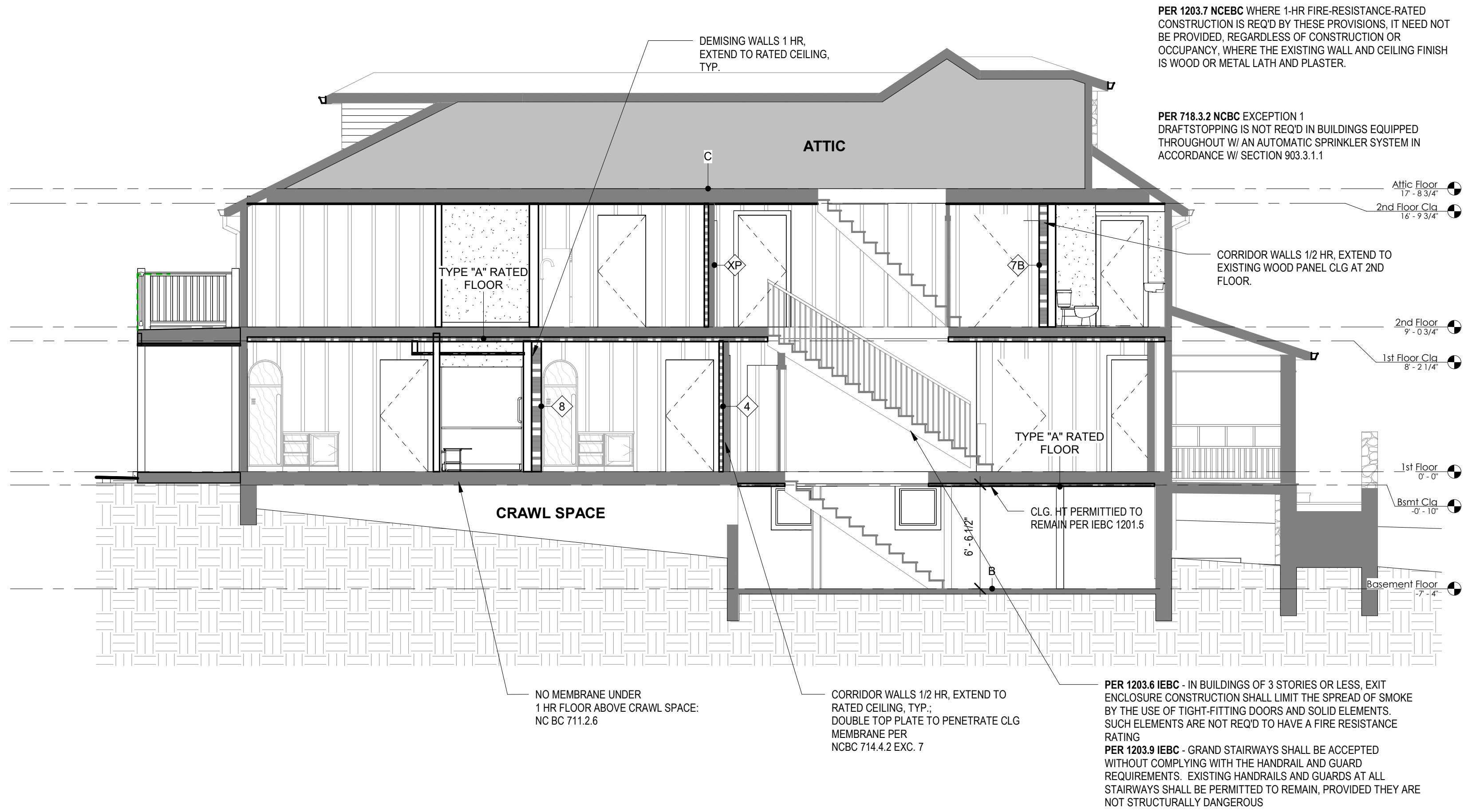
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Issue Date

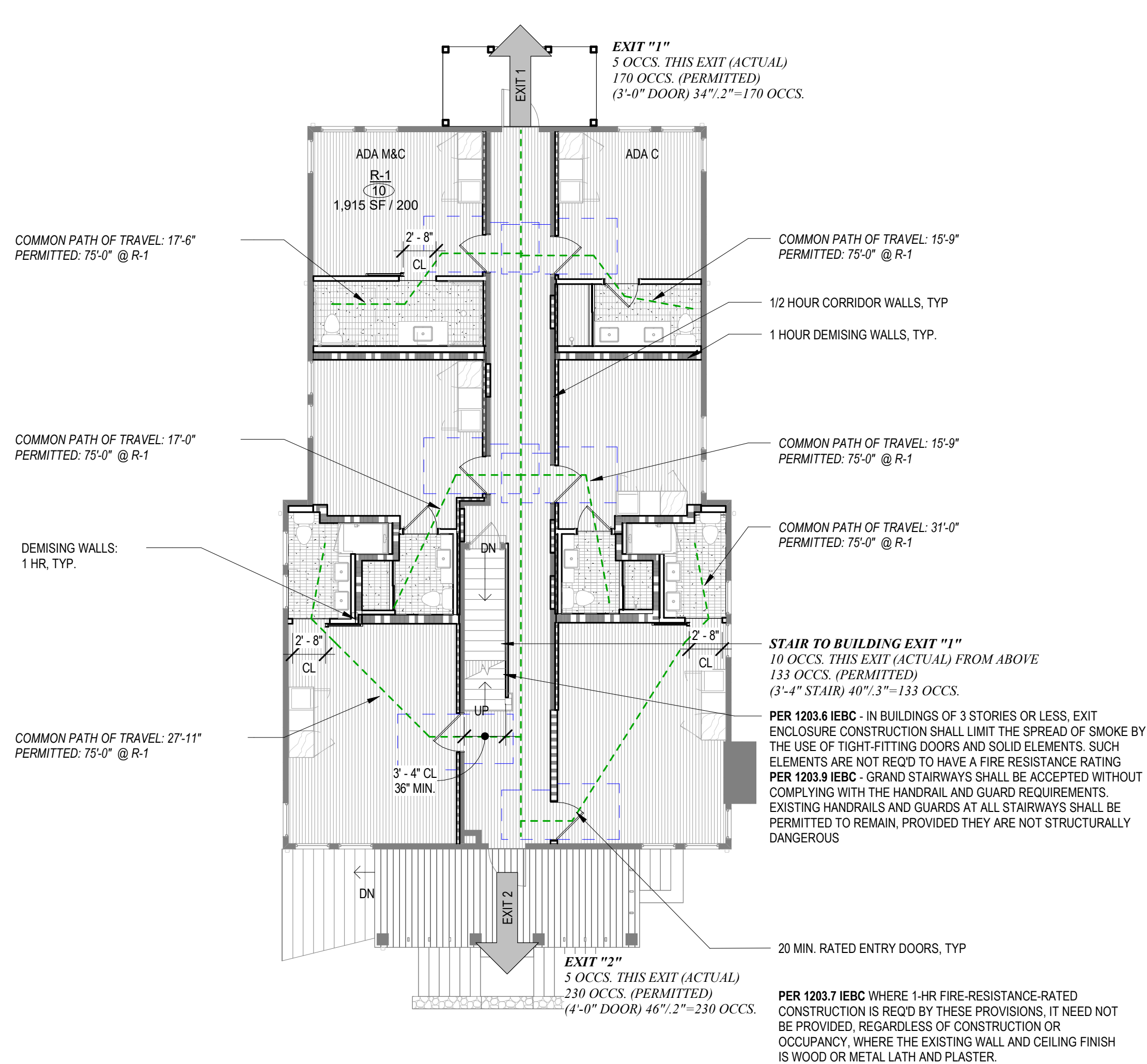
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APPENDIX B

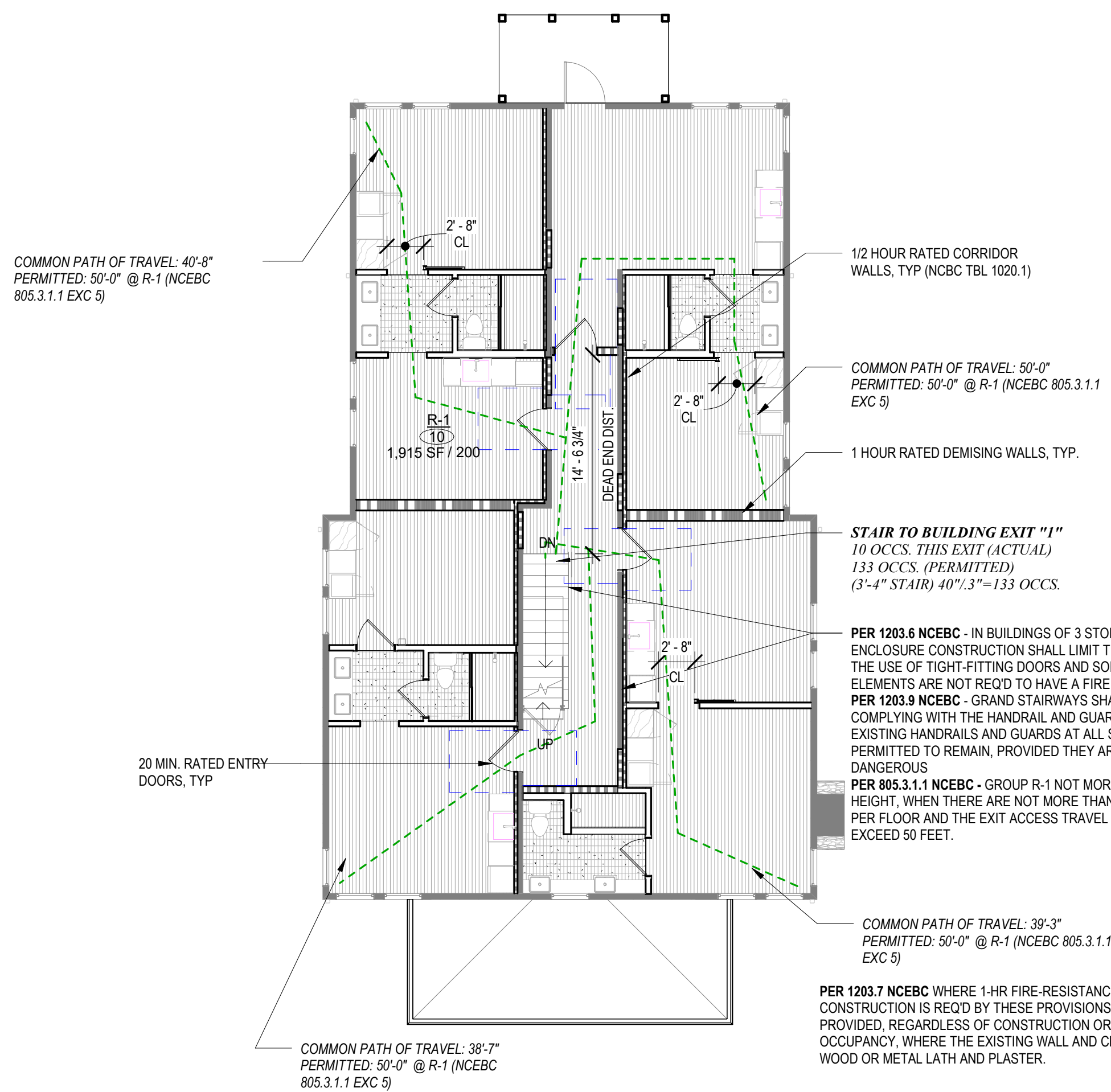
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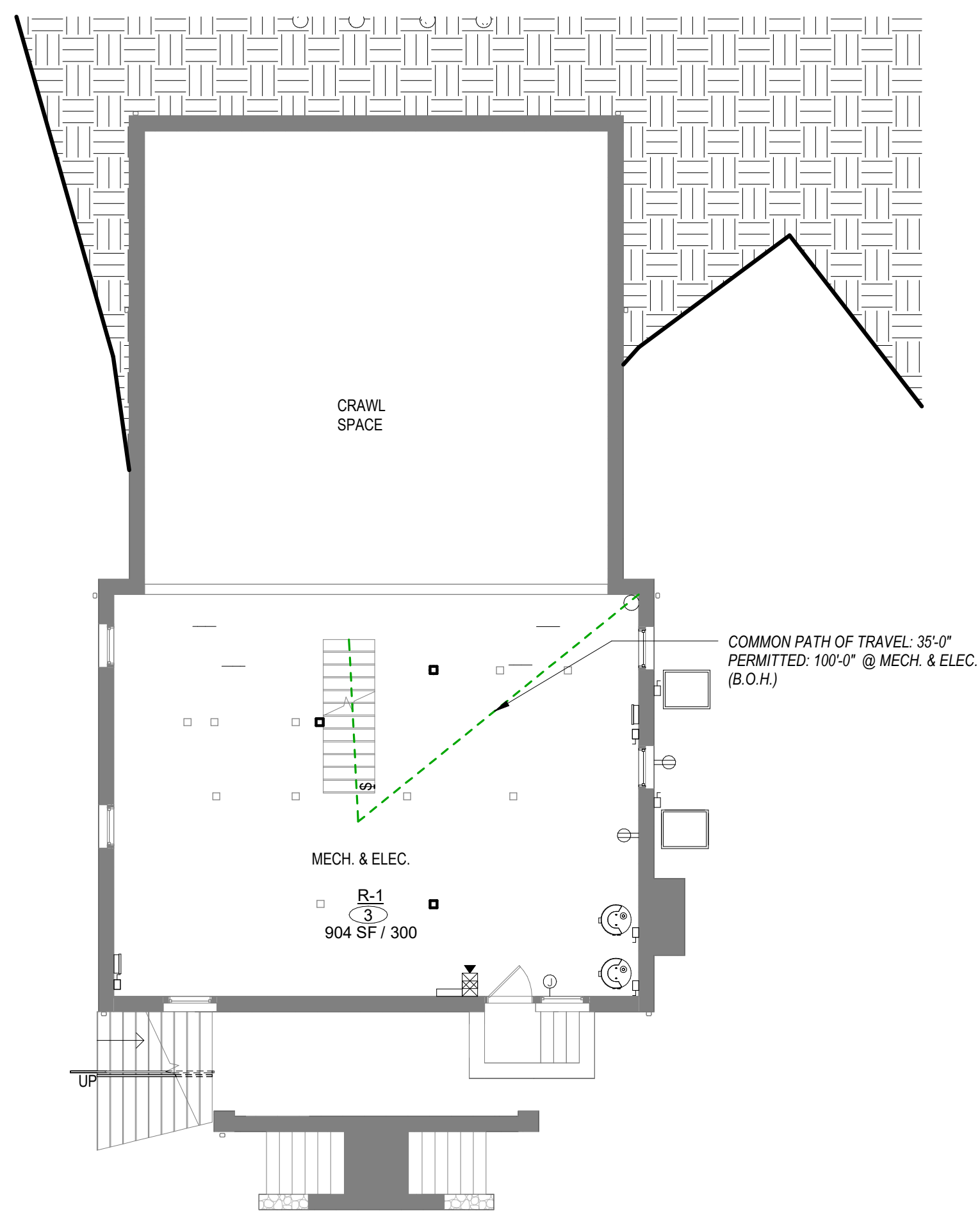
③ CODE SECTION
3/16" = 1'-0"



② 1st Floor
1/8" = 1'-0"



④ 2nd Floor
1/8" = 1'-0"



① Basement Floor
1/8" = 1'-0"

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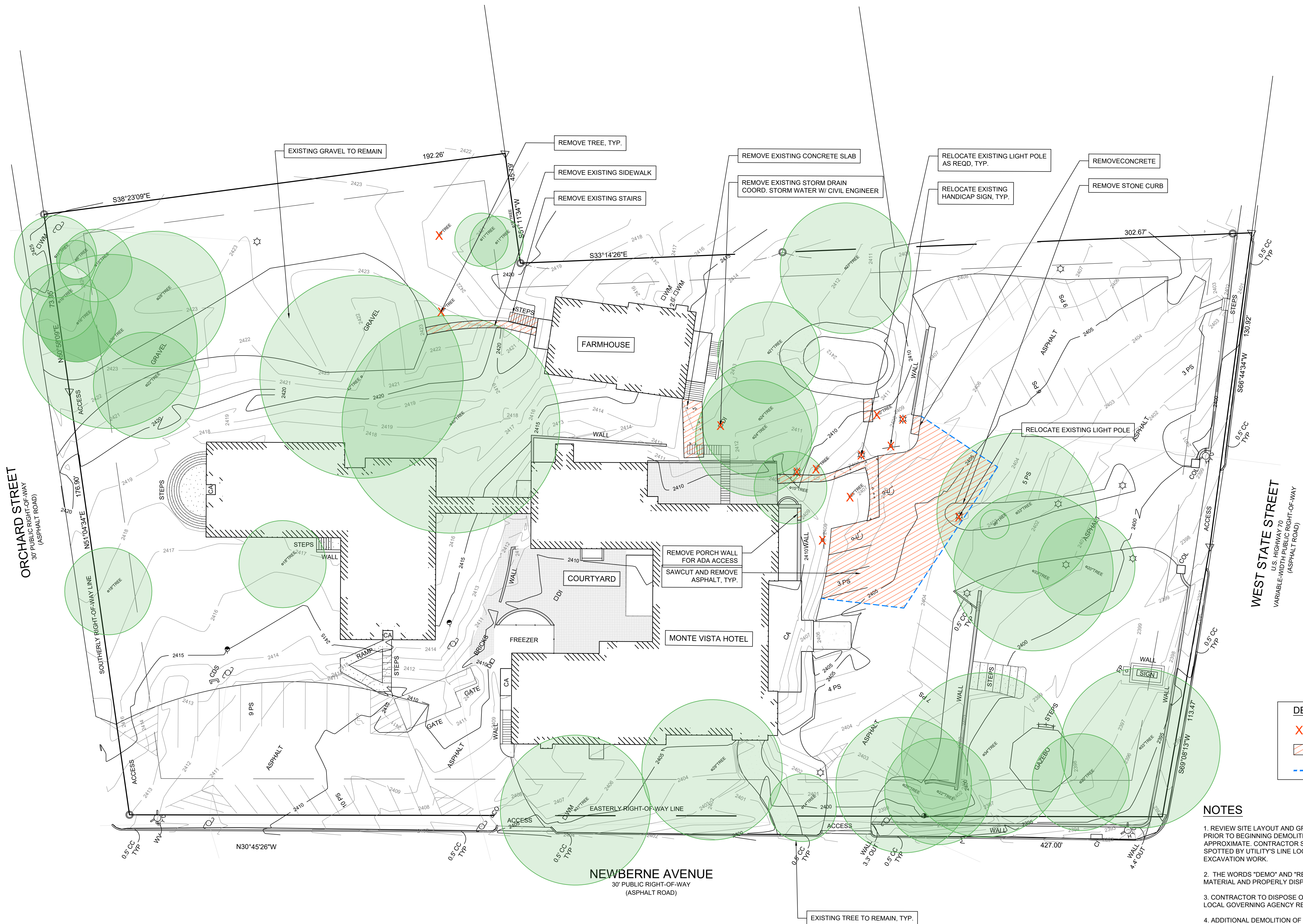
Issue Date

Sheet Title

CODE DIAGRAMS

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DEMO KEY:

- X TO BE REMOVED
- TO BE REMOVED OR RELOCATED
- TO BE SAW CUT

- NOTES**
- REVIEW SITE LAYOUT AND GRADING PLANS TO DETERMINE SCOPE OF WORK PRIOR TO BEGINNING DEMOLITION. LOCATIONS OF UTILITIES ON PLANS ARE APPROXIMATE. CONTRACTOR SHALL HAVE ALL UNDERGROUND UTILITIES SPOTTED BY UTILITY'S LINE LOCATOR PRIOR TO BEGINNING DEMOLITION AND EXCAVATION WORK.
 - THE WORDS "DEMO" AND "REMOVE" SHALL MEAN THE SAME AS "REMOVE MATERIAL AND PROPERLY DISPOSE OF OFF-SITE".
 - CONTRACTOR TO DISPOSE OF DEBRIS ACCORDING TO STATE, FEDERAL AND LOCAL GOVERNING AGENCY REGULATIONS AND AT AN APPROVED LOCATION.
 - ADDITIONAL DEMOLITION OF SITE UTILITIES/ FEATURES MAY BE REQUIRED. SEE CIVIL PLANS.



MONTE VISTA HOTEL
308 W STATE STREET
BLACK MOUNTAIN, NORTH CAROLINA

REVISIONS		
NO.	REMARKS	DATE

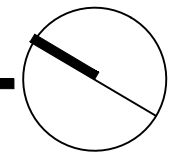
HPC REVIEW

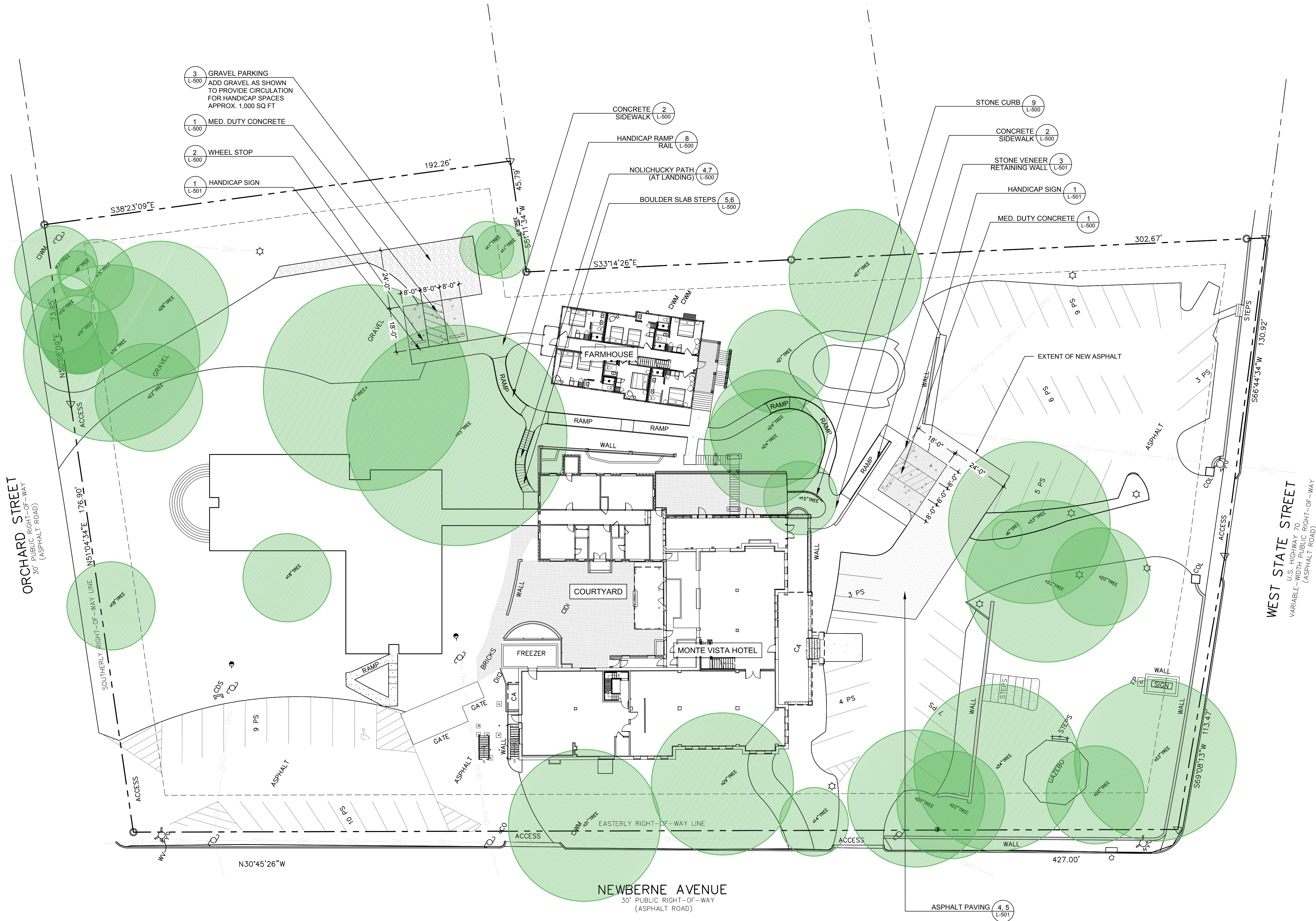
DATE:
03.06.2024

SHEET TITLE:
**EXISTING
CONDITIONS AND
DEMOLITION PLAN**

SHEET NO.

L-100





PROJECT ADDRESS:
PINS: 0619-25-3447
TOTAL PROPERTY SIZE: 2.61 AC
308 W. STATE STREET
BLACK MOUNTAIN, NORTH CAROLINA 28711

OWNER
NC - I RIDGELINE, LLC
PO BOX 682
CLAYTON, GEORGIA 30525

CONTACT
SUZANNE GODSEY, PLA
SITEWORK STUDIOS, PLLC
82 PATTON AVENUE, SUITE 700
ASHEVILLE, NC 28801
(O) (828) 225-4945
sgodsey@siteworkstudios.com

ZONING:
HB-8 - DISTRICT

SETBACKS:
HB-8: FRONT: 15'
CORNER: 50% OF FRONT
SIDE: 10, 20' ABUTTING RES.
REAR: 20', 30' ABUTTING RES

BUILDING INFORMATION:
BUILDING UNITS
MONTE VISTA HOTEL 40
FARMHOUSE 10
TOTAL 50

PARKING REQUIREMENTS:
REQUIRED PARKING:
HOTEL ROOMS: 50 (1 PER ROOM)
EMPLOYEES: TBD (1 PER 2 EMPLOYEES)
TOTAL: 50 + EMPLOYEE PARKING
PROPOSED: 60 SPACES (56 EXIST, 4 NEW ADA SPACES)

NOTES:
ANY PROPOSED LANDSCAPING WILL NOT COVER ANY
HISTORICAL FEATURES.



MONTE VISTA HOTEL

308 W STATE STREET
BLACK MOUNTAIN, NORTH CAROLINA

REVISIONS

NO.	REMARKS	DATE

HPC REVIEW

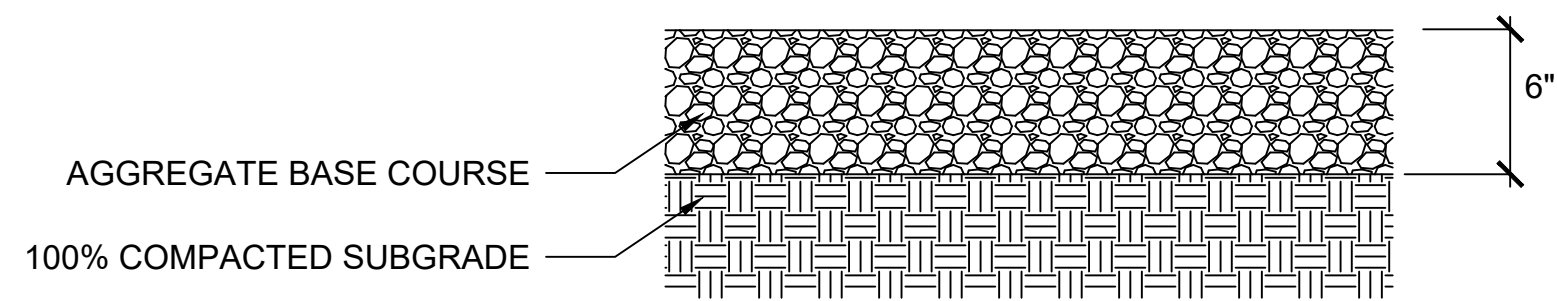
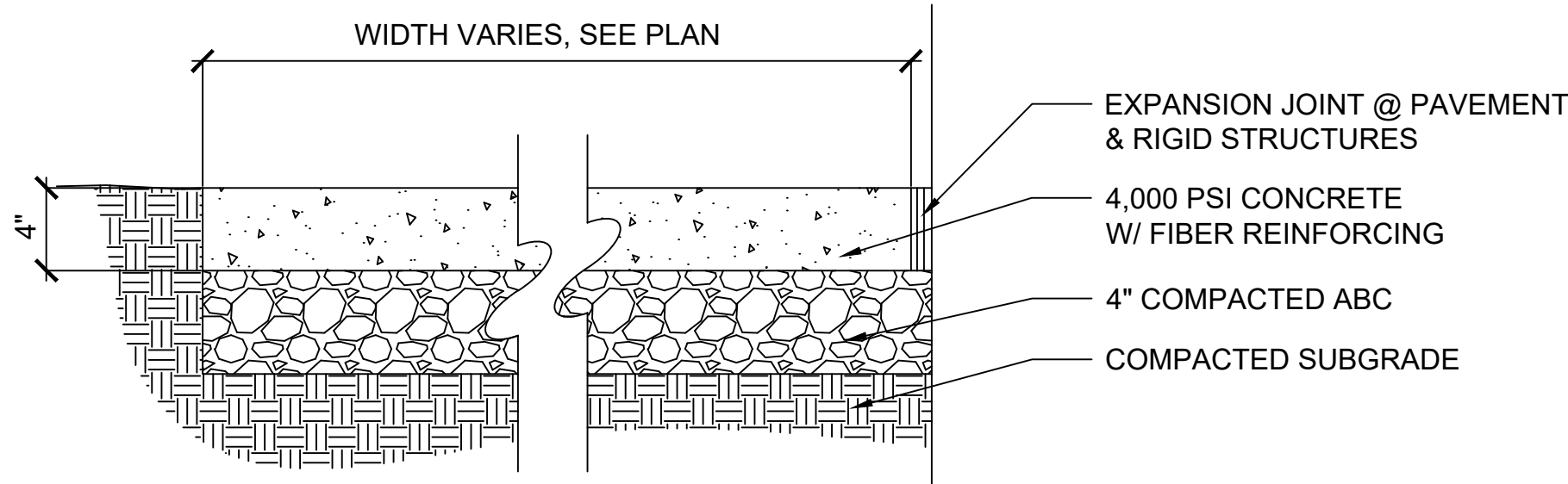
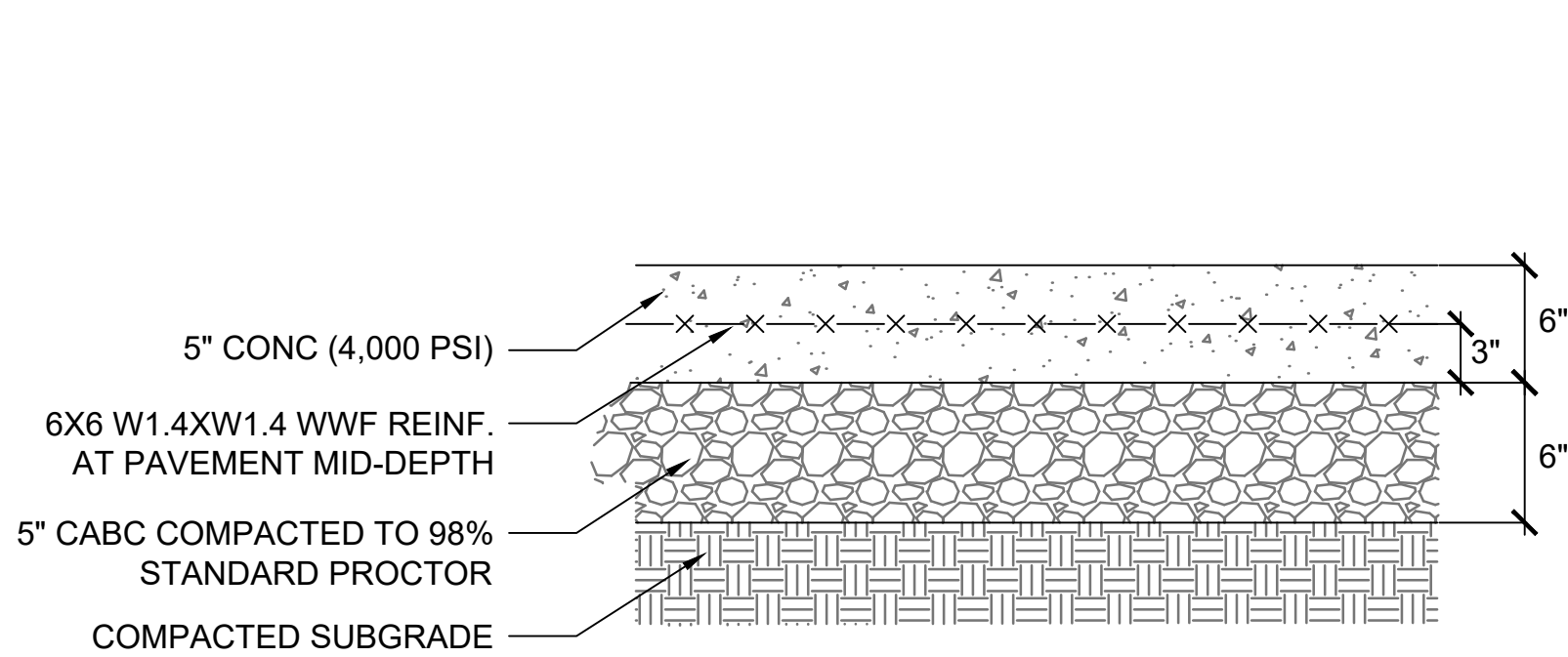
DATE:
03.06.2024

SHEET TITLE:

SITE
DEVELOPMENT
PLAN

SHEET NO.

L-200

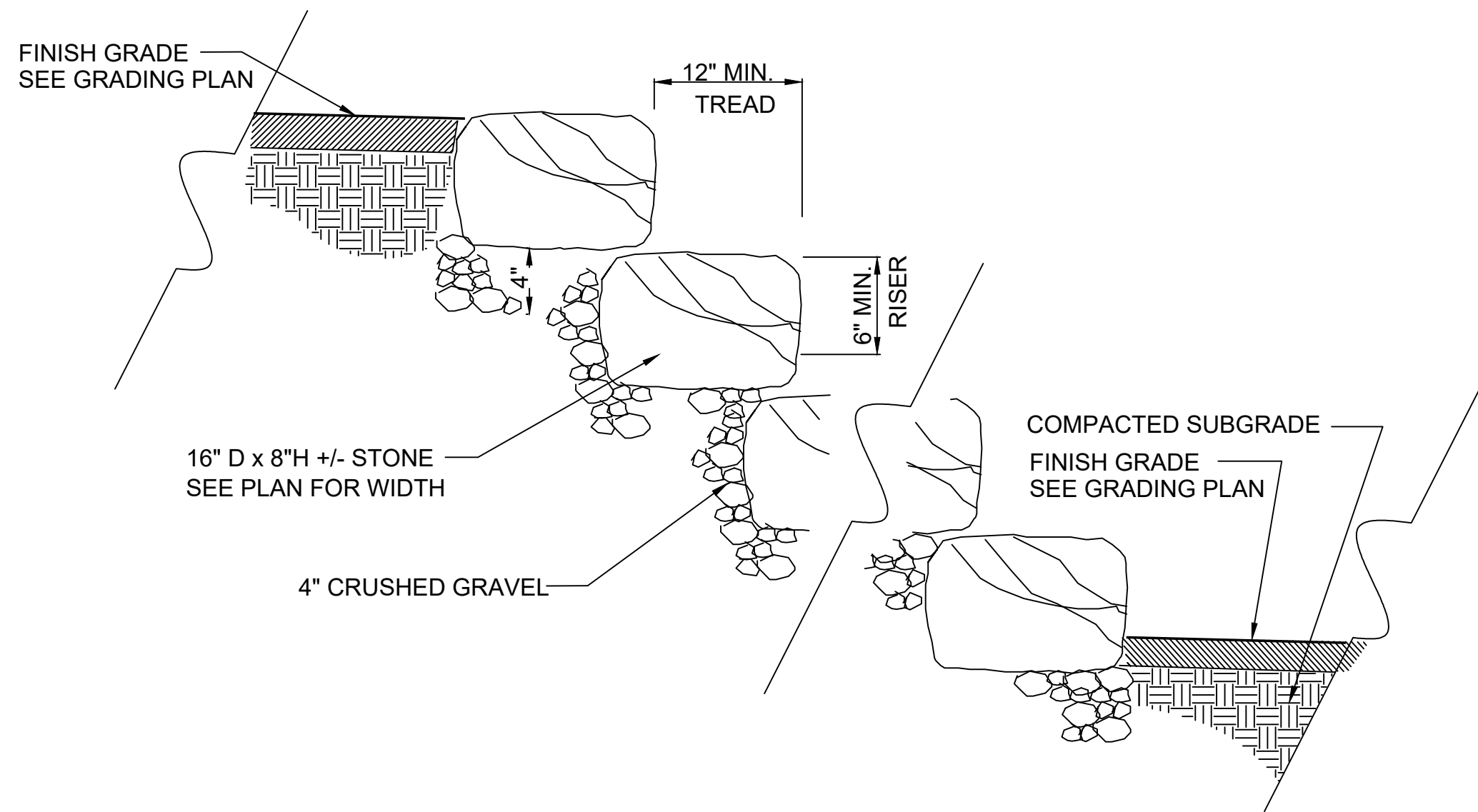
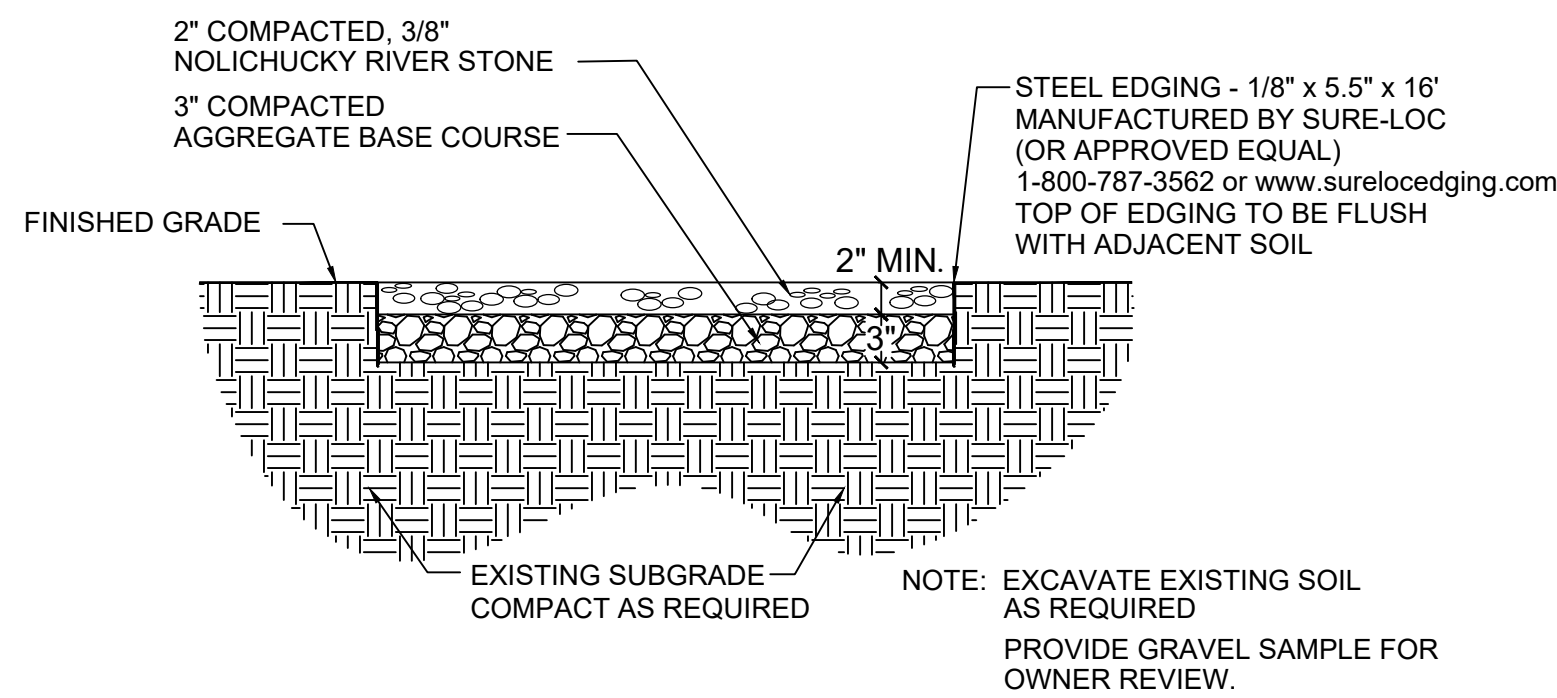


- NOTE:
1. CONTRACTOR SHALL SUBMIT CONTROL JOINT PATTERN LAYOUT SHOP DRAWINGS SHOWING ALL CONTROL JOINT LOCATIONS AND LAYOUT DIMENSIONS FOR APPROVAL PRIOR TO START OF WORK.
 2. CONCRETE TO BE 4" THICK EXCEPT WHERE NOTED AS 6".

1 MEDIUM DUTY CONCRETE
HANDICAP PARKING SPACES

2 CONCRETE SIDEWALK
NTS

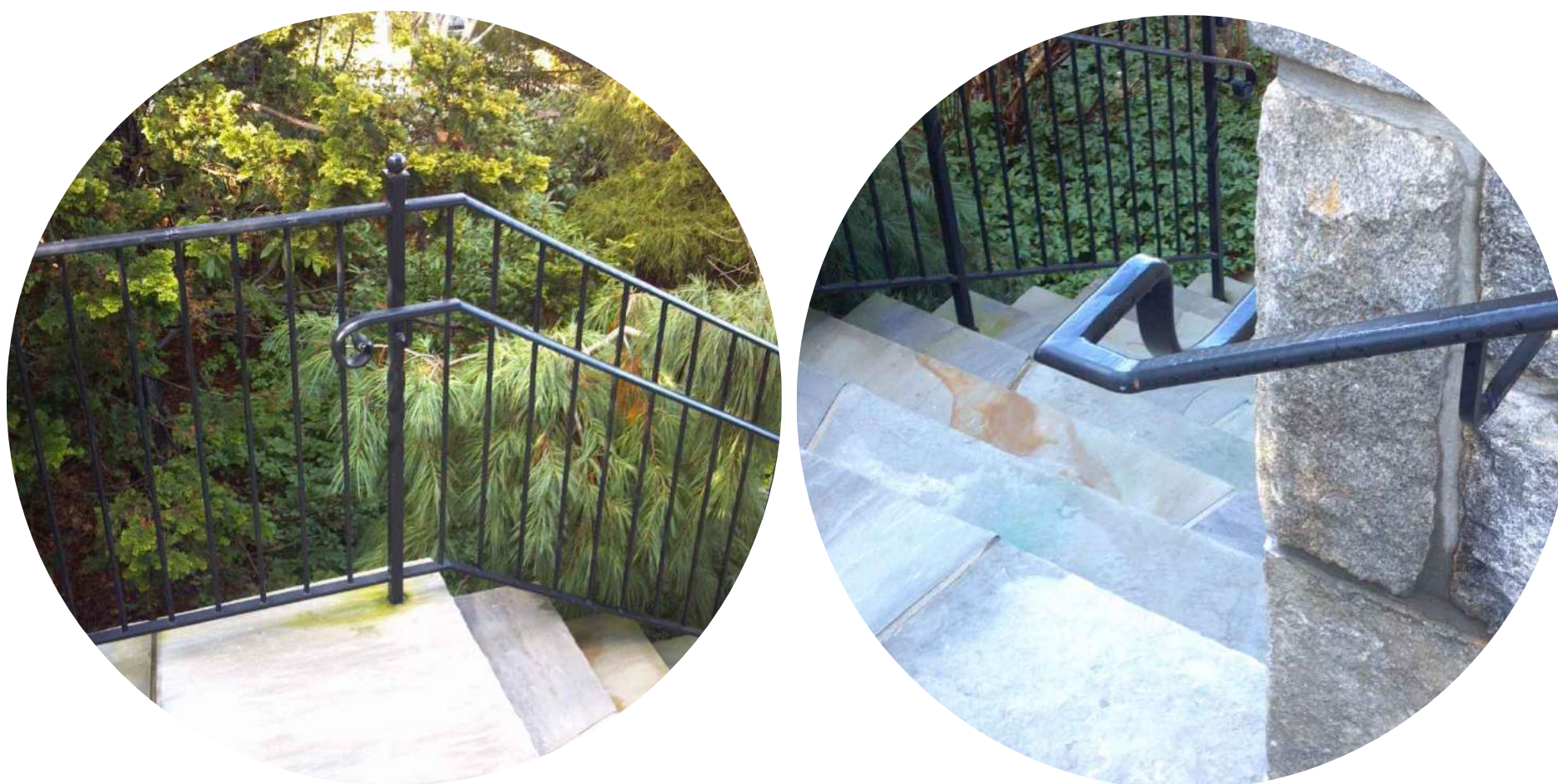
3 GRAVEL PARKING
NTS



4 NOLICHUCKY PATH
AT STAIR LANDINGS

5 BOULDER SLAB STAIRS
NTS

6 BOULDER SLAB STAIRS, EXAMPLE



7 NOLICHUCKY GRAVEL, EXAMPLE
NTS

8 HANDICAP RAMP & STAIR RAIL
COMPLY WITH ADA REGULATIONS

9 STONE CURB
NTS

MONTE VISTA HOTEL

308 W STATE STREET
BLACK MOUNTAIN, NORTH CAROLINA

REVISIONS

NO.	REMARKS	DATE

HPC REVIEW

DATE:
03.06.2024

SHEET TITLE:

DETAILS

SHEET NO.

L-500

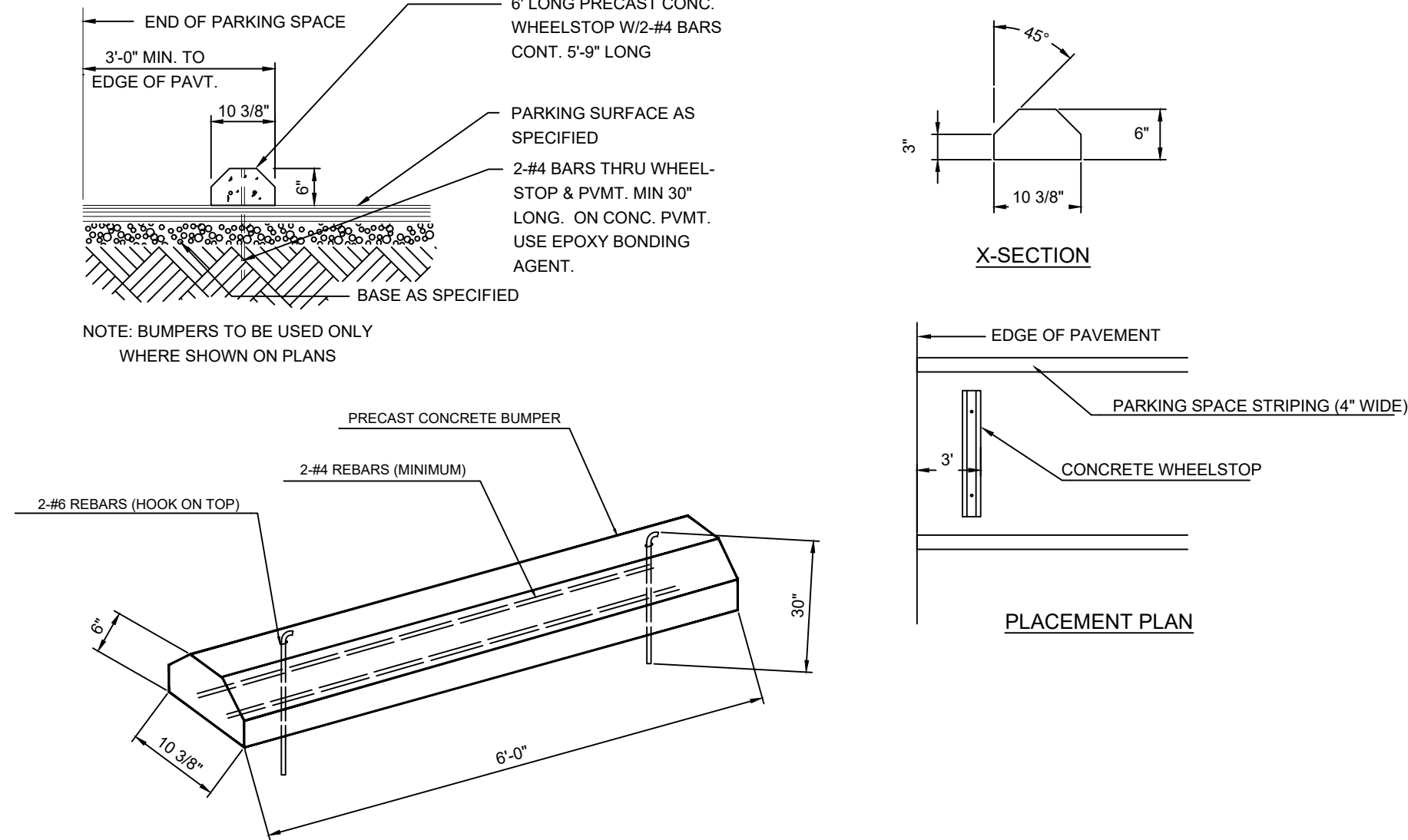


sitework
STUDIOS

LANDSCAPE ARCHITECTURE
18007
03/06/2024



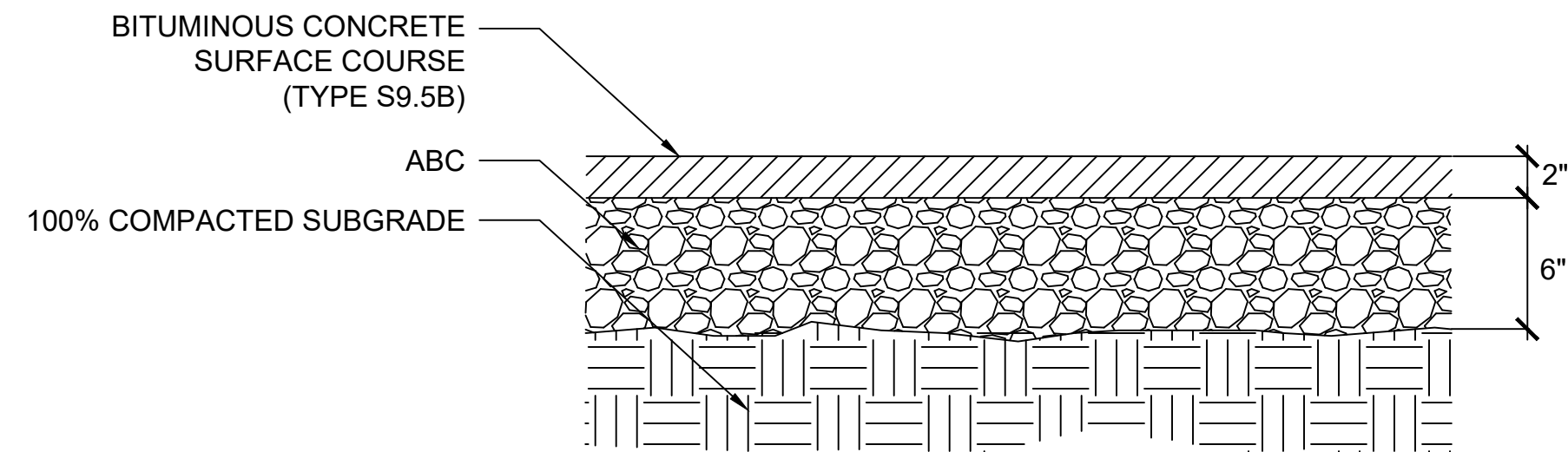
1 EXISTING HANDICAP SIGNS
RELOCATE & REINSTALL EXISTING SIGNS, AND INSTALL ADDITIONAL NEW SIGNS PER L-200



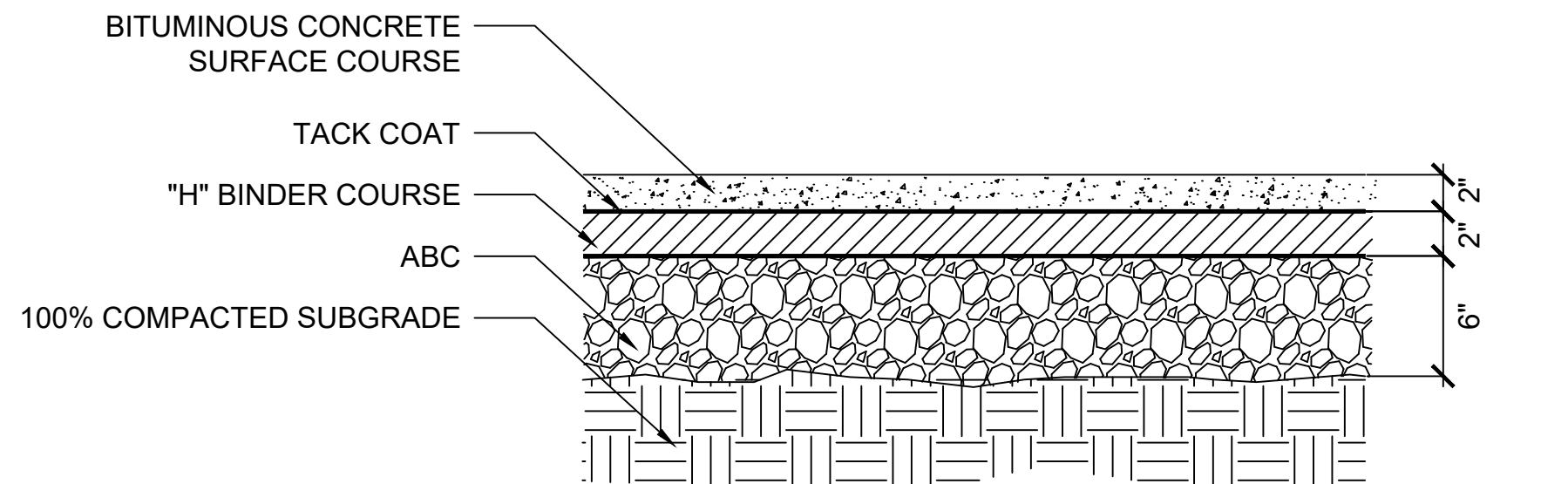
2 WHEELSTOP
NTS



3 STONE VENEER RETAINING WALL
MATCH EXISTING



4 LIGHT DUTY ASPHALT PAVING
PARKING SPACES



5 HEAVY DUTY ASPHALT PAVING
DRIVE AISLE

6 DETAIL
NTS

7 DETAIL
NTS

8 DETAIL
NTS

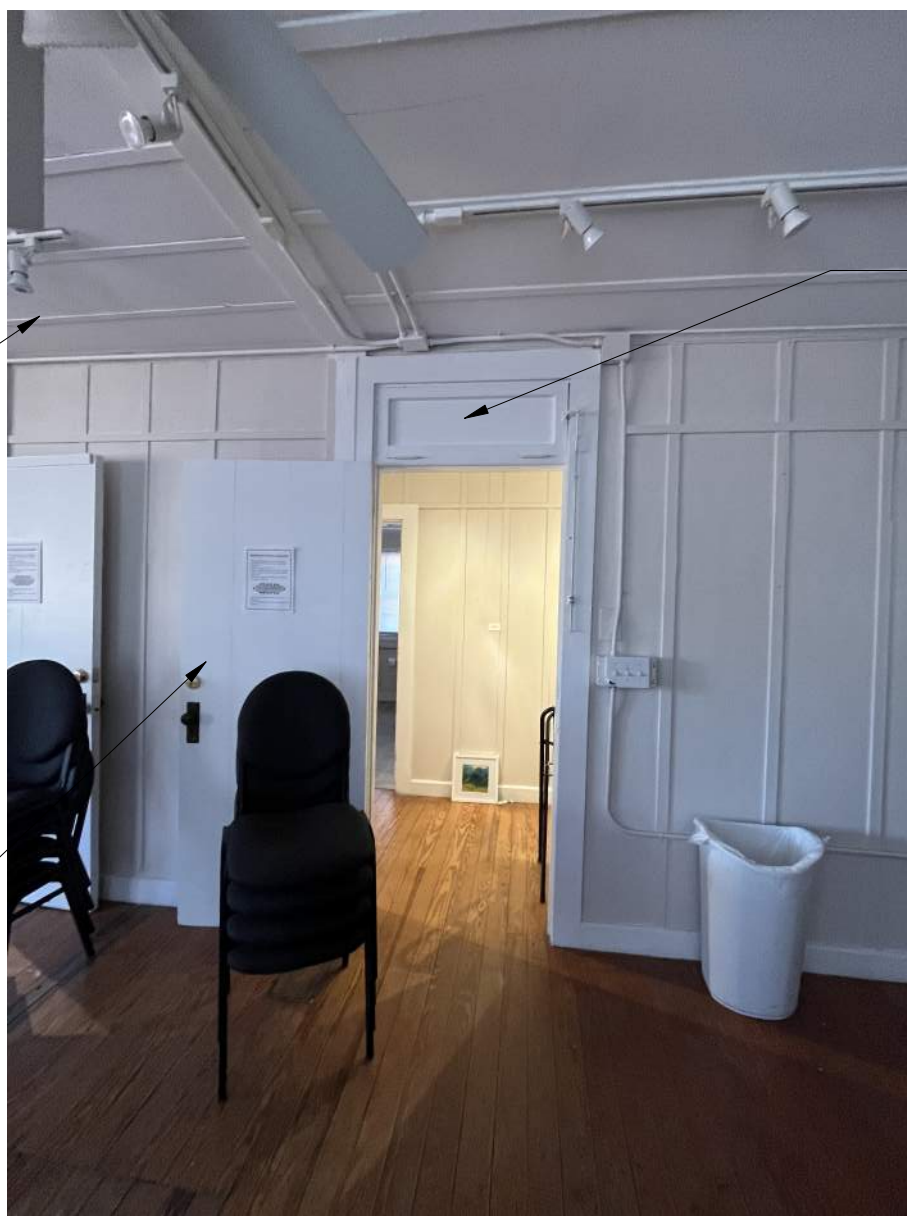
9 DETAIL
NTS

REVISIONS		
NO.	REMARKS	DATE



CAREFULLY REMOVE ALL WOOD PANELS AND BATTENS TO REINSTALL

EXISTING "PLANK" DOORS TO REMAIN IN USE OR FIXED IN PLACE, PER PLAN



TRANSOM TO BE INFILLED W/ TYPE X GYP BOARD

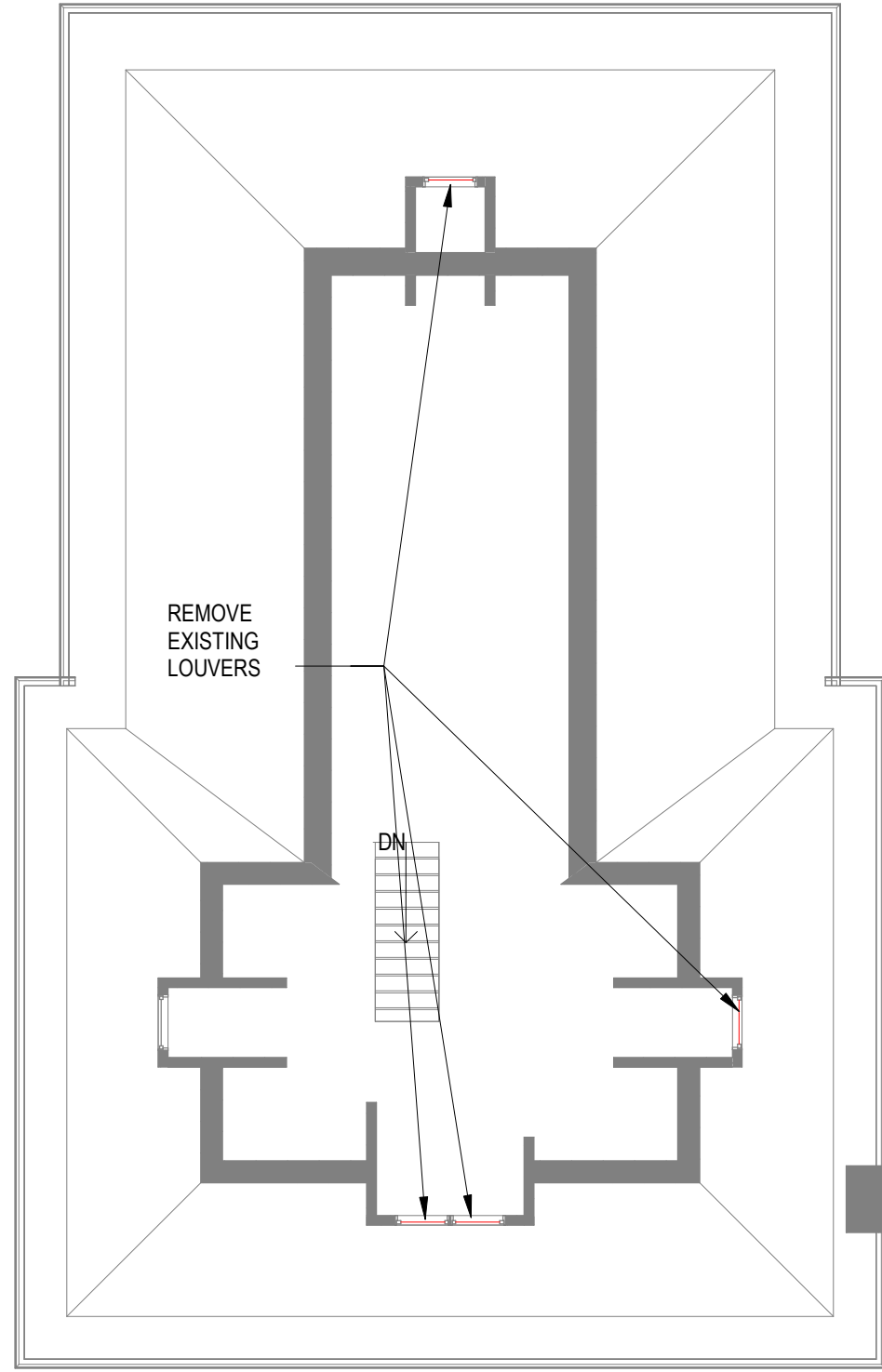


DEMOLITION PLAN LEGEND

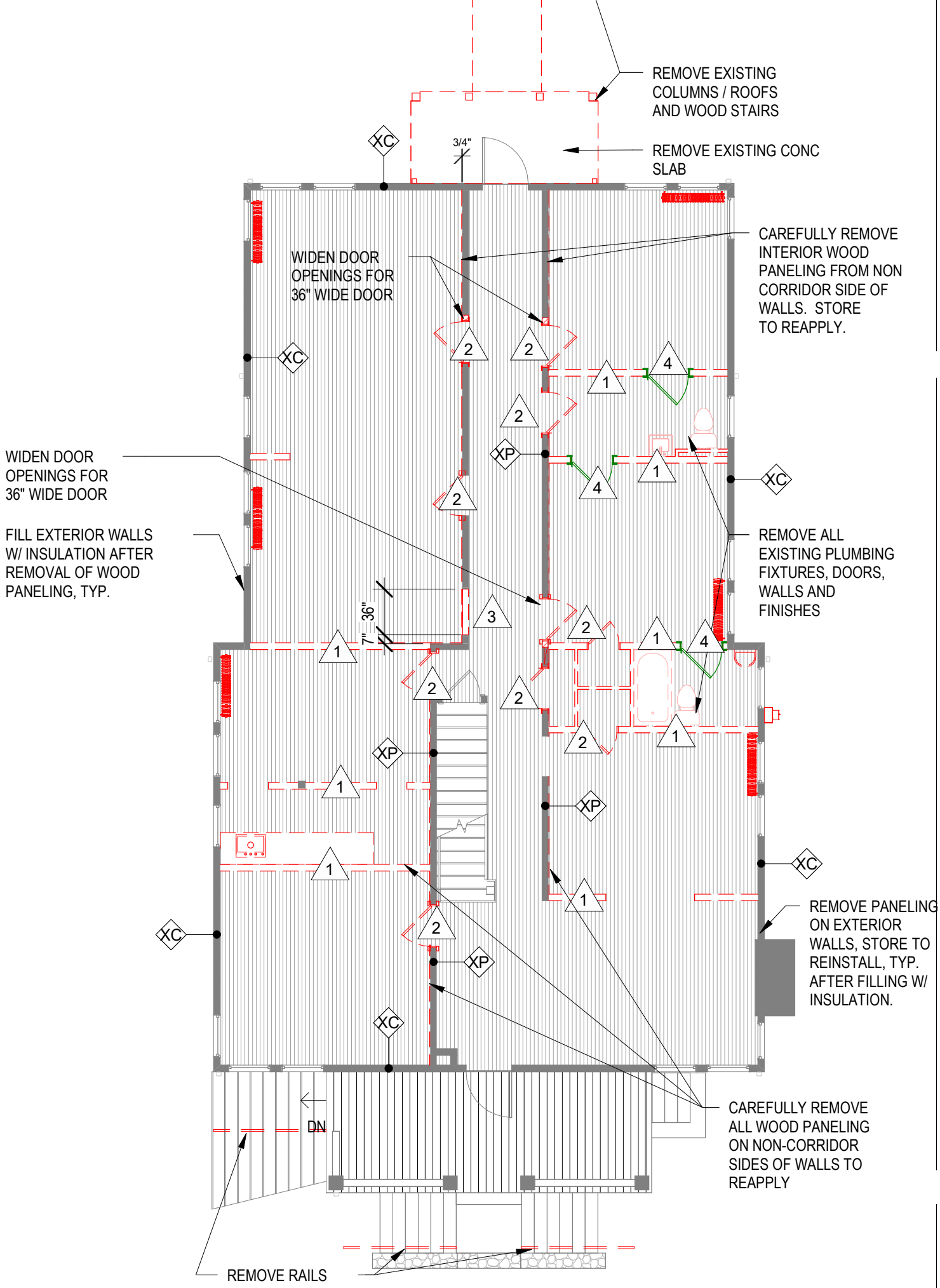
- DENOTES EXISTING CONSTRUCTION TO REMAIN
- == DENOTES DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION. VERIFY AND COORDINATE WITH ELEC., F. P., HVAC AND PLUMBING
- == GREEN DENOTES ITEMS TO BE REMOVED AND RELOCATED - SEE CONSTRUCTION PLANS FOR LOCATIONS.
- 1 DEMOLISH AND REMOVE PORTION OF WALLS AS INDICATED.
- 2 DEMOLISH AND REMOVE DOORS AS INDICATED.
- 3 REMOVE EXISTING WALL TO CREATE A NEW DOOR OPENING.
- 4 REMOVE AND STORE DOOR FOR USE IN NEW CONSTRUCTION
- 5 REMOVE INFILL MATERIAL FROM EXISTING OPENING.

GENERAL DEMOLITION NOTES

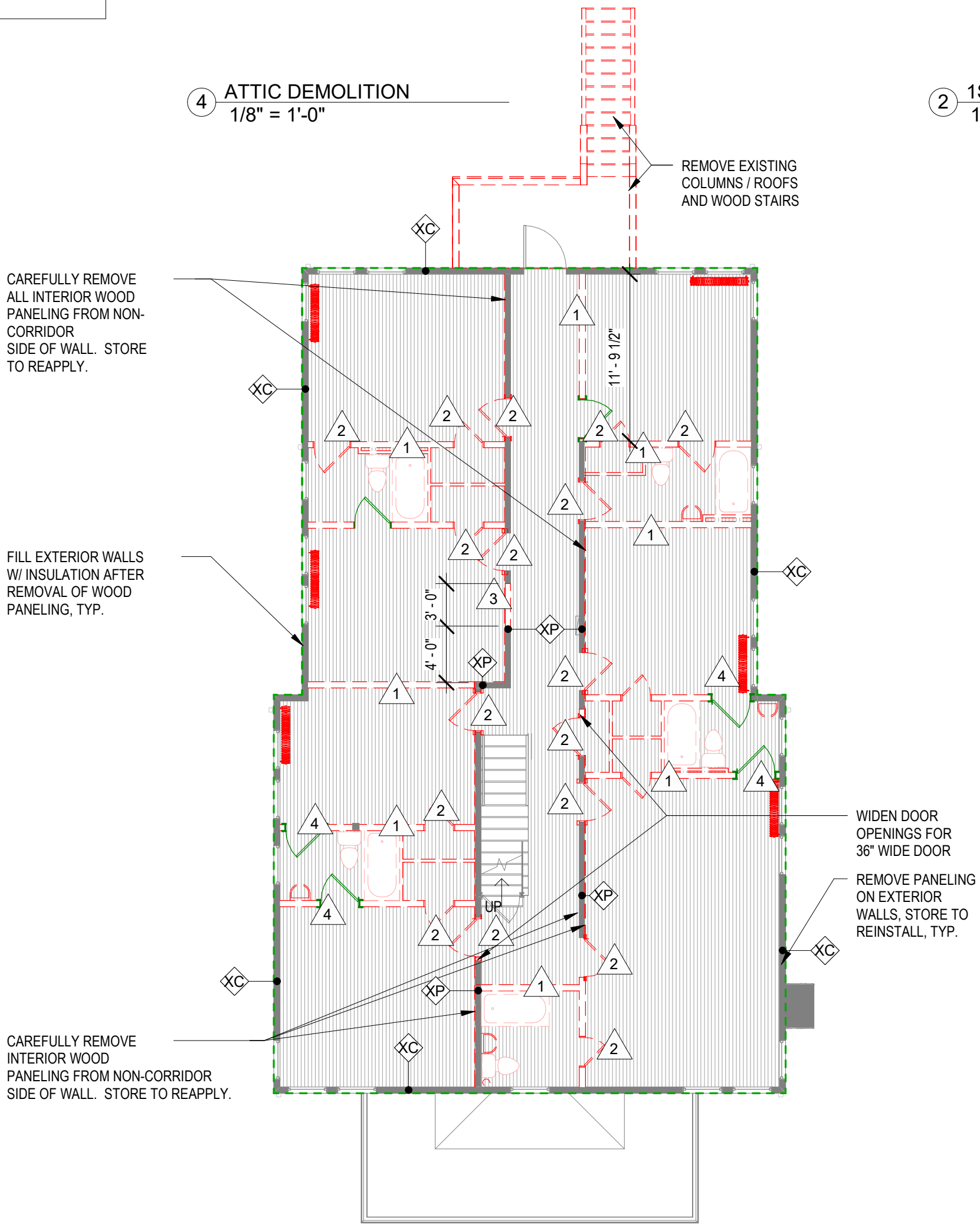
1. ALL DEMOLITION SHALL BE SAW CUT TO NEAT, STRAIGHT LINES FOR JOINING NEW WORK TO EXISTING.
2. ALL DEMOLITION SHALL BE VERIFIED AND COORDINATED WITH NEW CONSTRUCTION AS DOCUMENTED IN THE CONTRACT DOCUMENTS.
3. CONTRACTOR SHALL PROVIDE AND INSTALL DUST AND DEBRIS PROTECTION IN ALL AREAS OF EXISTING STRUCTURE WHERE NO WORK IS TO TAKE PLACE. UPON COMPLETION OF WORK DEMOLISH AND REMOVE PROTECTION.
4. CONTRACTOR SHALL RETAIN FIRE RATING AT ALL EXISTING RATED WALLS. ANY AND ALL OPENINGS OR PENETRATIONS LEFT AFTER DEMOLITION MUST BE INFILLED AND/OR SEALED AS REQUIRED BY APPLICABLE CODES.
5. DEMOLITION SHALL INCLUDE THE REMOVAL OF CEILINGS, WALLS, PARTITIONS, DOORS AND WINDOWS AS INDICATED ON THE DRAWINGS. WINDOWS WHICH ARE IN SALVAGEABLE CONDITION SHALL BE SAVED FOR REFURBISHMENT AND REUSE IN EXISTING LOCATIONS.
6. DEMOLITION SHALL INCLUDE THE ENTIRE REMOVAL, OR WHEN NECESSARY, ABANDONMENT OF ALL EXISTING PLUMBING FIXTURES, RADIATORS, WATER COOLERS AND EXISTING HEATING SYSTEM UNITS WITH ALL PIPES, VALVES, AND APPURTENANCES UNLESS OTHERWISE NOTED ON PLANS. EXCEPTIONS WILL BE MADE WITH ARCHITECT'S APPROVAL IN INSTANCES OF INACCESSIBLE PIPES IN WALLS, CEILINGS, AND FLOORS.
7. EXCEPT AS NOTED ELSEWHERE, ALL ELECTRICAL OUTLETS, CONDUIT, WIRING, METERS, AND PANELS SHALL BE ABANDONED IN PLACE OR REMOVED COMPLETELY WHERE THEY ARE IN CONFLICT WITH NEW CONSTRUCTION OR WOULD REMAIN EXPOSED TO VIEW. REMOVE ALL EXISTING LIGHT FIXTURES TO ALLOW FOR REPLACEMENT WITH NEW FIXTURES OR REFURBISHED FIXTURES.
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10. CONTRACTOR SHALL PROTECT WALLS, FLOORS, AND OTHER SURFACES IN ALL ROUTES OF EQUIPMENT AND DEBRIS EXTRACTION.
11. UNDER NO CIRCUMSTANCES SHALL BUILDING STRUCTURAL MEMBERS BE ALTERED TO FACILITATE DEMOLITION CONTACT ARCHITECT WHERE A STRUCTURAL MEMBER IS IN CONFLICT WITH THE RENOVATION PLANS.



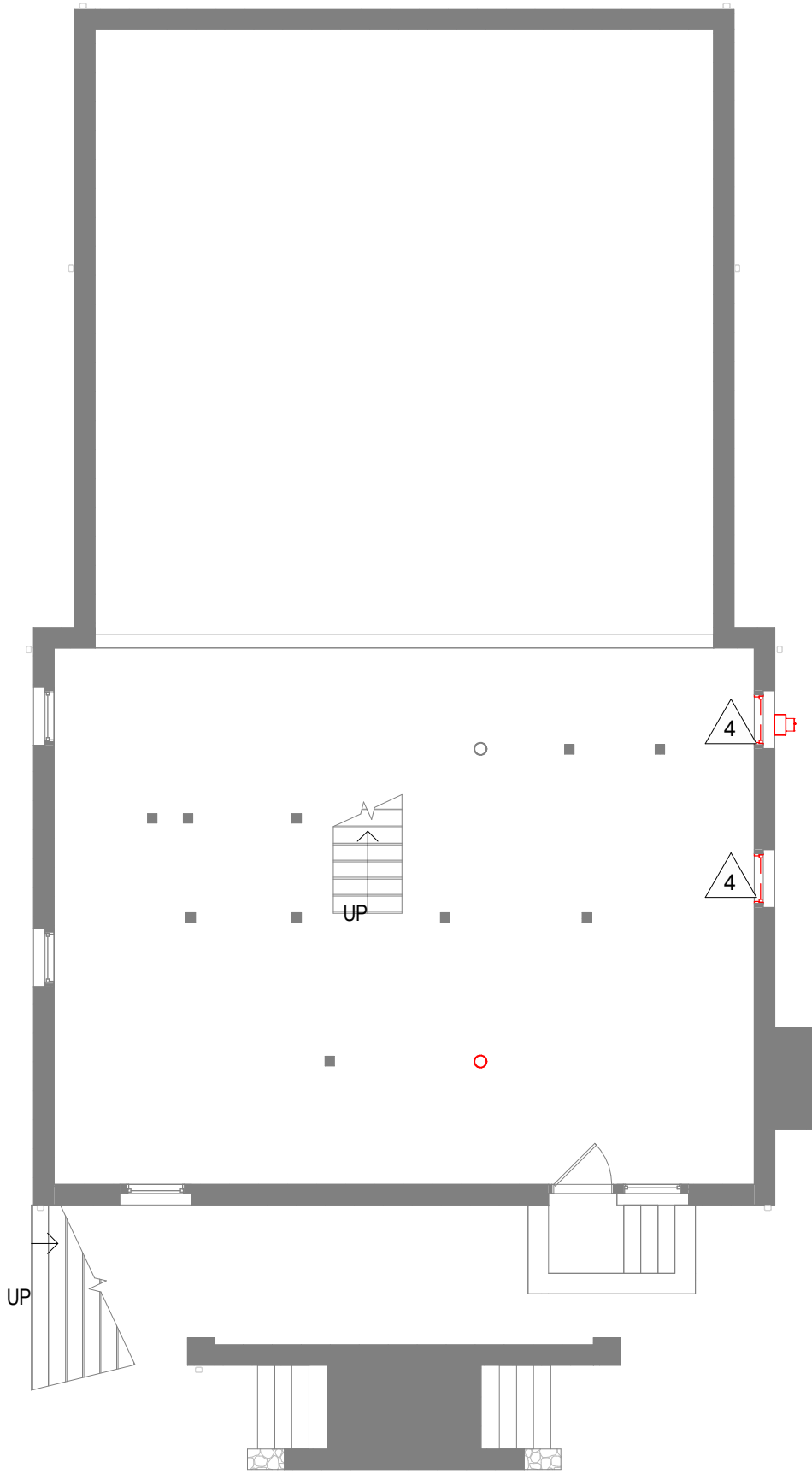
4 ATTIC DEMOLITION
1/8" = 1'-0"



2 1ST FLOOR DEMOLITION
1/8" = 1'-0"



3 2ND FLOOR DEMOLITION
1/8" = 1'-0"



1 BASEMENT DEMOLITION
1/8" = 1'-0"



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28801

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THE FARMHOUSE AT MONTE VISTA HOTEL
MONTE VISTA HOTEL

308 West State St.
Black Mountain NC 28711

Release / Revision Dates

No.	Description	Date
A	DD PHASE	1.31.24
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Permit Submittal Date

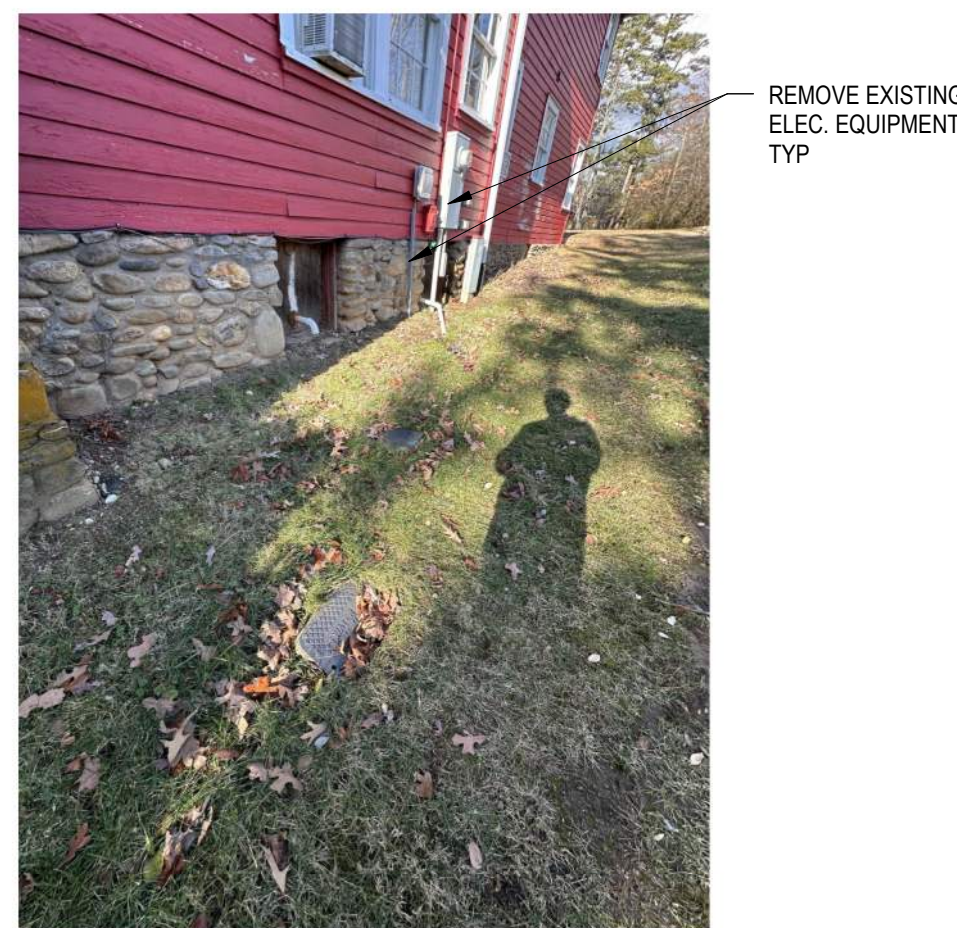
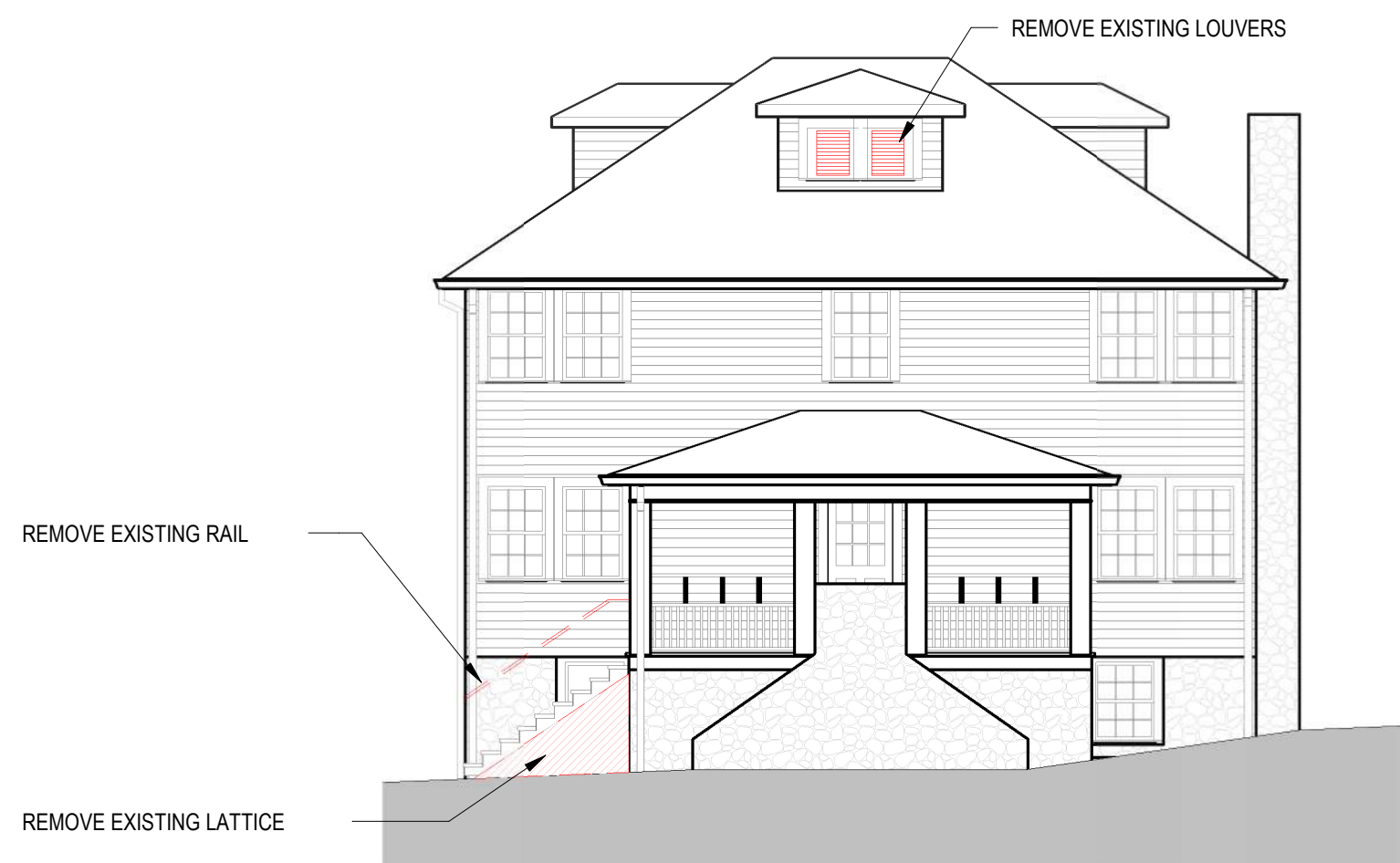
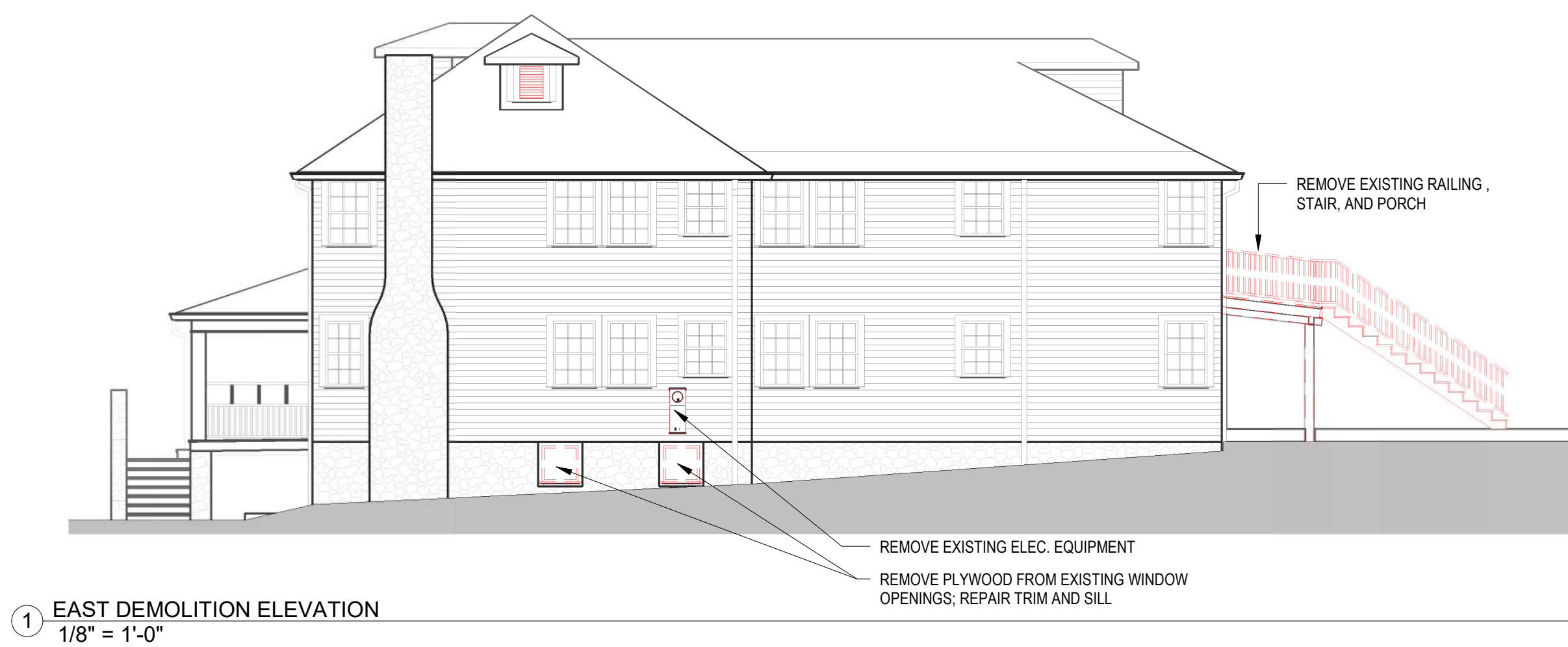
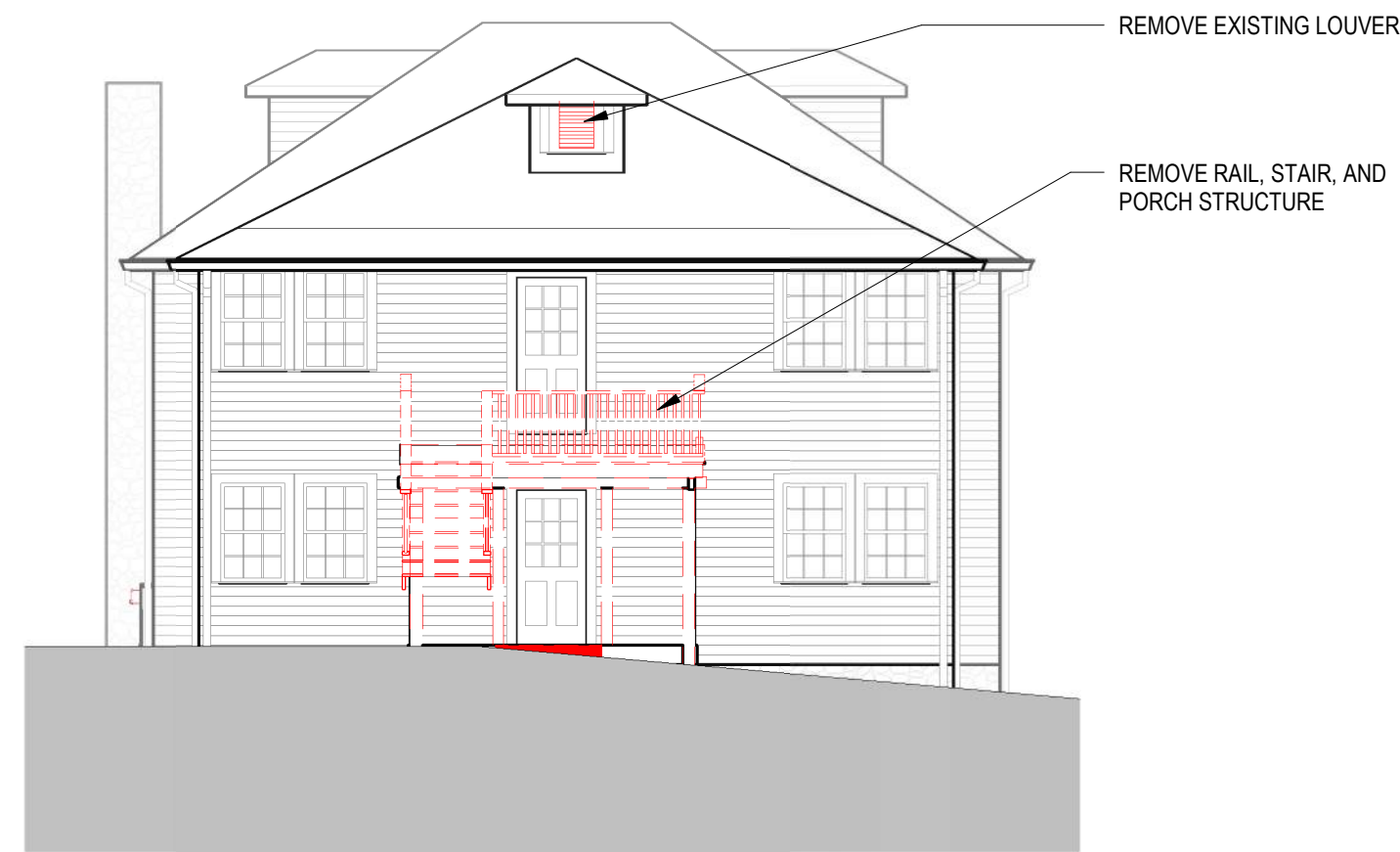
Issue Date

Sheet Title

DEMO PLANS

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DEMOLITION PLAN LEGEND

DENOTES EXISTING CONSTRUCTION TO REMAIN



 DENOTES DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION. VERIFY AND
 COORDINATE WITH ELEC., F. P., HVAC AND PLUMBING

GREEN DENOTES ITEMS TO BE REMOVED AND RELOCATED - SEE CONSTRUCTION PLANS FOR LOCATIONS.

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THE FARMHOUSE AT MONTE VISTA HOTEL
MONTE VISTA HOTEL

308 West State St
Black Mountain NC 28711

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B	HPC SUMBISSION	3.6.24

Permit Submittal Date

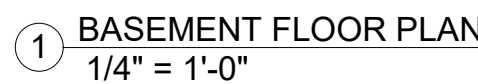
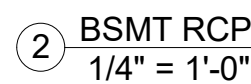
Issue Date

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DEMO ELEVATIONS

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THE FARMHOUSE AT MONTE VISTA HOTEL
MONTE VISTA HOTEL

308 West State St
Black Mountain NC 28711

Release / Revision Dates

Permit Submittal Date

Issue Date

Sheet Title

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one north pack square
asheville, north carolina
28801

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308 West State St.
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Issue Date

Sheet Title

1ST FLOOR PLAN +
REFLECTED CEILING
PLAN

A2.1

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LIGHT FIXTURE KEY *REFER TO ELEC. DWGS FOR TAG/SPEC

PLAN	TAG	MOUNTING	DESCRIPTION
	OS	RATED WALL	SURFACE MOUNTED SCONCE @ UNIT ENTRIES
	UT	SOFFIT FASCIA	TRACK FIXTURE
	RP1	RATED CEILING	ROOM PENDANT LIGHT
	RS1	WALL MOUNTED	ROOM BEDSIDE PENDANT LIGHTS
	RS2	WALL MOUNTED	ROOM SCONCE LIGHT
	RS3	WALL MOUNTED	ROOM SCONCE LIGHT OVER BED
	UF	RATED CEILING	SURFACE MOUNTED FANLIGHT COMBO
	GL1	RATED CEILING	SURFACE MOUNTED DOWNLIGHT (WET LISTED AT SHOWER LOCATIONS)
	UV	WALL	BATHROOM VANITY SCONCE
	UV2	WALL	BATHROOM VANITY SCONCE
	OEM	EXTERIOR WALL	SURFACE MOUNTED SCONCE @ 1ST FLOOR
	F1	CEILING	EXHAUST FANLIGHT COMBO
	S4	RATED CEILING	1X4 SURFACE MOUNTED LED
	TL1	SIDE TABLE	SIDE TABLE LAMP

DOOR LEGEND

CASSED OPENING

SINGLE DOOR

BARN DOOR

PARTITION KEY

UNRATED WALL: SEE WALL TYPES SHEET (BATHROOM / BEDROOM WALLS & CEILINGS ACOUSTIC INSULATED)

1 HOUR RATED WALL: SEE WALL TYPES SHEET

EXISTING WALL: SEE WALL TYPES SHEET

*NOTE: RUNS GREATER THAN 30' IN LENGTH REQUIRE A CONTROL JOINT.

NEW ENGINEERED WOOD FLOORING ON GYPCRETE

REUSED WOOD PLANKS ON GYPCRETE

VCT

CARPET

CERAMIC TILE

ANNOTATION KEY

SYMBOL	DESCRIPTION
	1 Ref A101 1 Ref EXTERIOR ELEVATION VIEW & SHEET #
	1 Ref A101 1 Ref INTERIOR ELEVATION VIEW & SHEET #
	1 DOOR TYPE
	1i WINDOW TYPE
	101 Room name 150 sf ROOM NAME, #, AND AREA
	1 SIM A101 BUILDING SECTION VIEW & SHEET #
	1 SIM A101 WALL SECTION VIEW & SHEET #
	CLG. HEIGHT
	WALL TYPE
	1 SIM A101 ENLARGED DETAIL OR CALLOUT

GENERAL NOTES

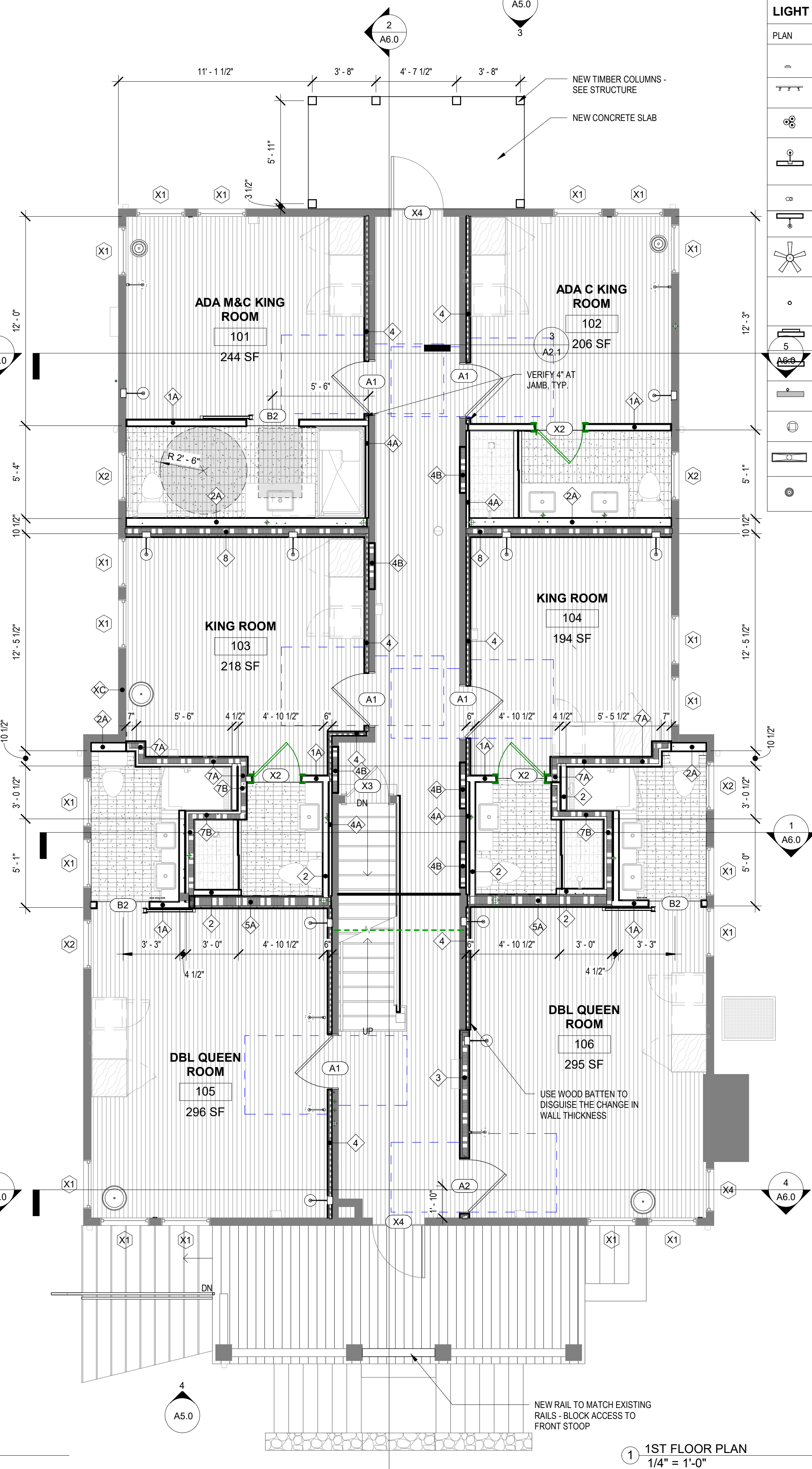
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- G.C. TO INSTALL BLOCKING FOR ALL BATHROOM FIXTURES, ACCESSORIES, GRAB BARS, CABINETS AND SHELVING.
- PROVIDE ACCESSIBLE THRESHOLDS AT ALL EXTERIOR DOORS, UNIT ENTRY DOORS AND ACCESSIBLE UNIT INTERIOR DOORS. ACCESSIBLE THRESHOLDS MUST NOT EXCEED 3/4" AFF IN HEIGHT W/ A BEVEL NOT EXCEEDING 1/2 AND UNBEVELED LEVEL CHANGES MUST NOT EXCEED 1/4" AFF (NCEBC).
- "PRE-ROCK" SHOWERS WHERE INSTALLED ADJACENT TO RATED WALLS.
- FIELD VERIFY AND COORDINATE LOCATIONS OF PLUMBING PENETRATIONS BEFORE COMMENCING WORK.
- ALL ACCESSIBLE TOILETS ARE TO BE 16" MIN. TO 18" MAX CENTERLINE OF FIXTURE TO THE WALL (15" MIN. AT NON-ACCESSIBLE TOILETS).
- ADA NOTE: ADA-C: ACCESSIBLE LIGHTS AND COMMUNICATION DEVICES
ADA-M&C: ACCESSIBLE MOBILITY AND COMMUNICATION DEVICES
- ALL VERTICAL PLUMBING SHOULD RUN IN ADJACENT CHASES OR SHAFTS NOTED ON ARCHITECTURAL PLANS IF NOT GRAPHICALLY SHOWN CORRECTLY.

CEILING NOTES

- ALL FLOOR/CEILING AT 1ST / 2ND FLOOR IS RATED 1 HR. ALL FIXTURES TO BE SURFACE MOUNTED.
- ALL CEILINGS UNDERSIDE OF EXISTING JOISTS U.N.O..

CEILING LEGEND

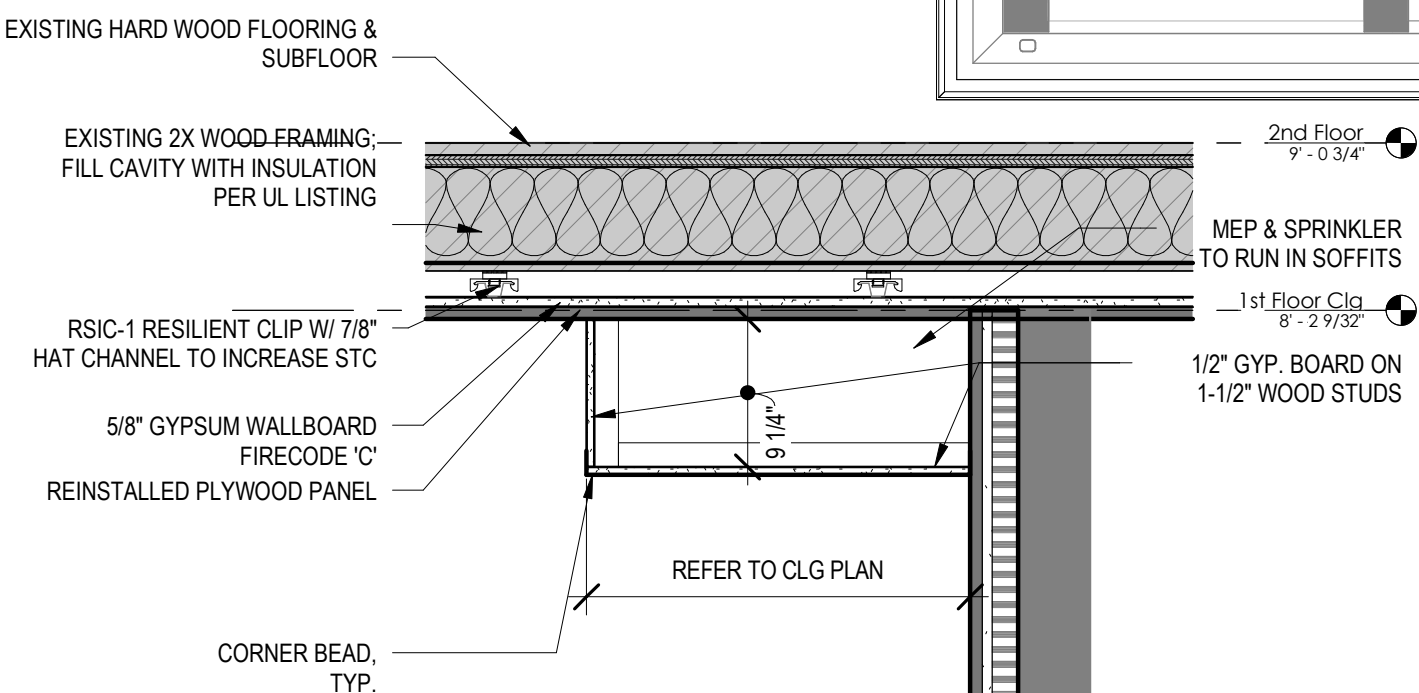
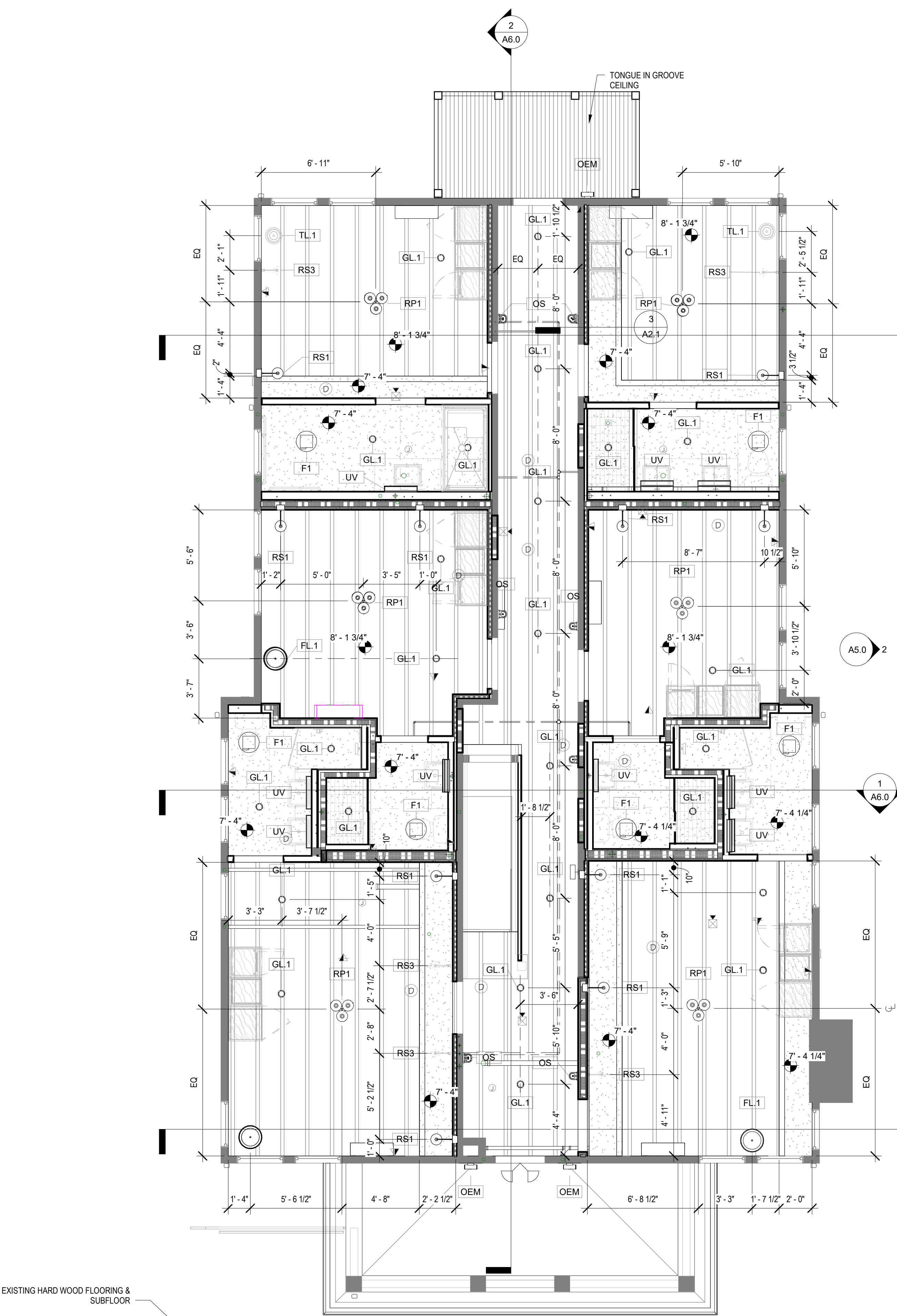
- GYP. DROPPED CEILING: 7'-6" A.F.F. U.N.O. (NOTED ON PLANS)
- EXISTING PLYWOOD CEILING (REINSTALLED ON 1ST FLOOR AND LEFT IN PLACE ON 2ND FLOOR)

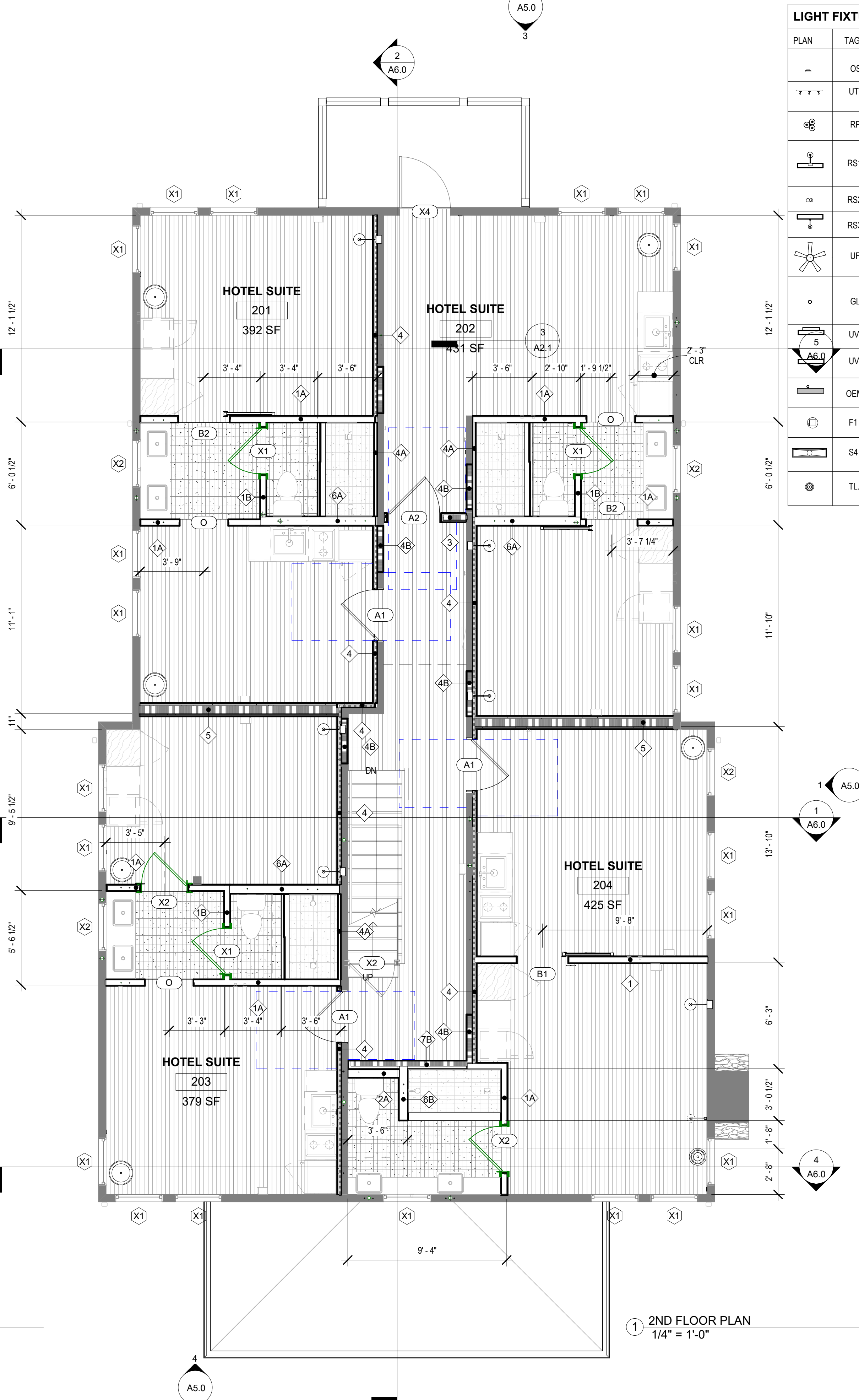
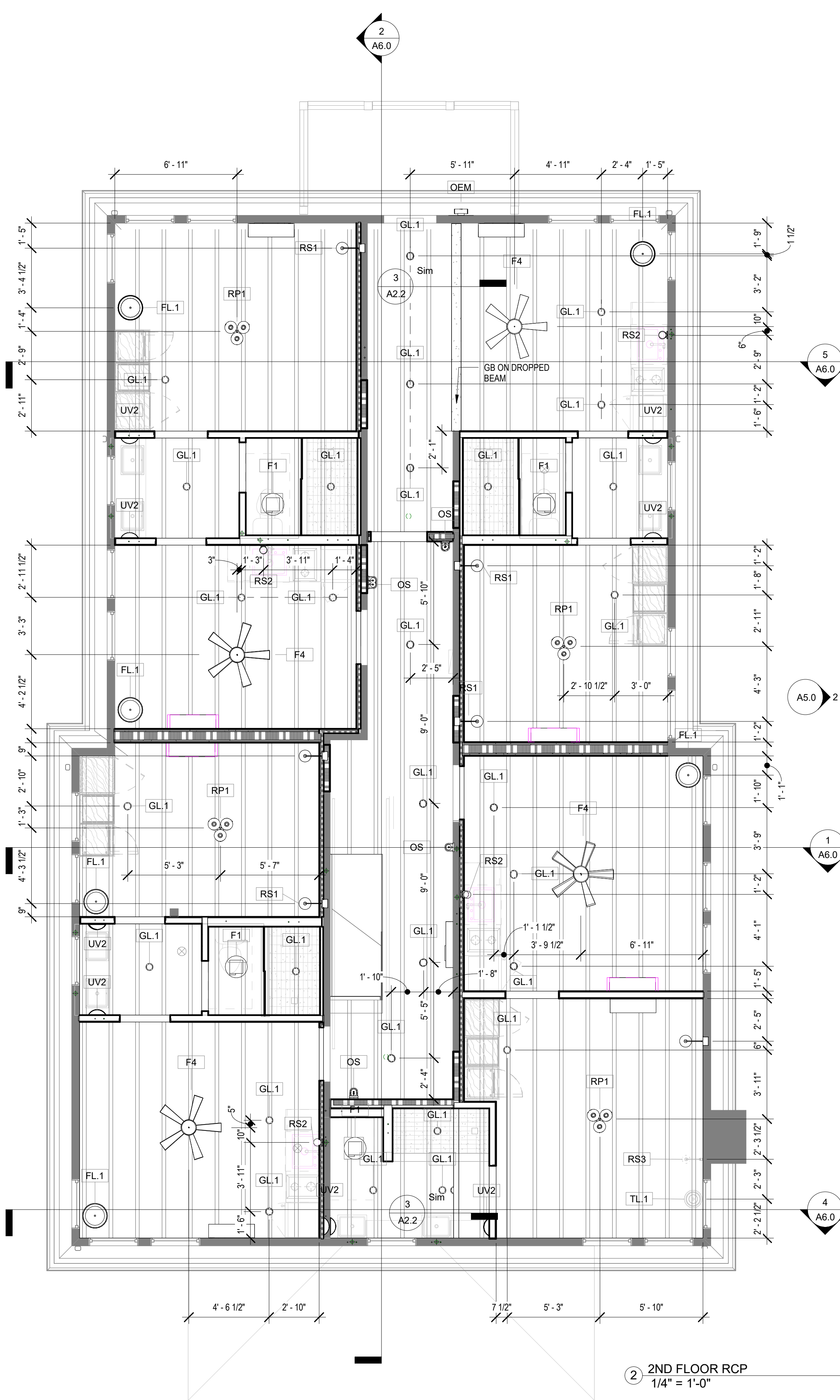


1 1ST FLOOR PLAN
1/4" = 1'-0"

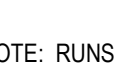
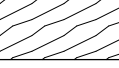
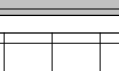
2 1ST FLOOR RCP
1/4" = 1'-0"

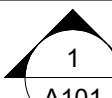
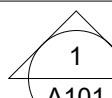
3 TYP. SOFFIT DETAIL
1" = 1'-0"





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	TL 1	SIDE TABLE	SIDE TABLE LAMP

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	CASED OPENING
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	BARN DOOR
PARTITION KEY	
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	REUSED WOOD PLANKS ON GYPCRETE
	VCT
	CARPET
	CERAMIC TILE

ANNOTATION KEY	
SYMBOL	DESCRIPTION
	EXTERIOR ELEVATION VIEW & SHEET #
	INTERIOR ELEVATION VIEW & SHEET #
	DOOR TYPE
	WINDOW TYPE
	ROOM NAME, #, AND AREA
	BUILDING SECTION VIEW & SHEET #
	WALL SECTION VIEW & SHEET #
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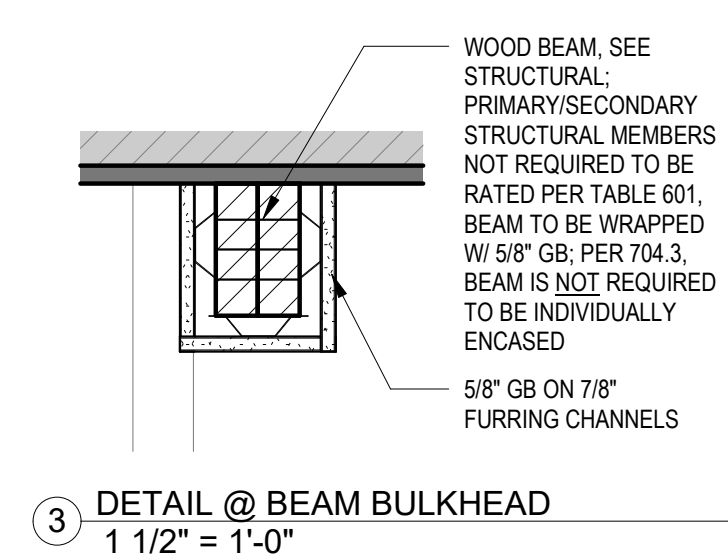
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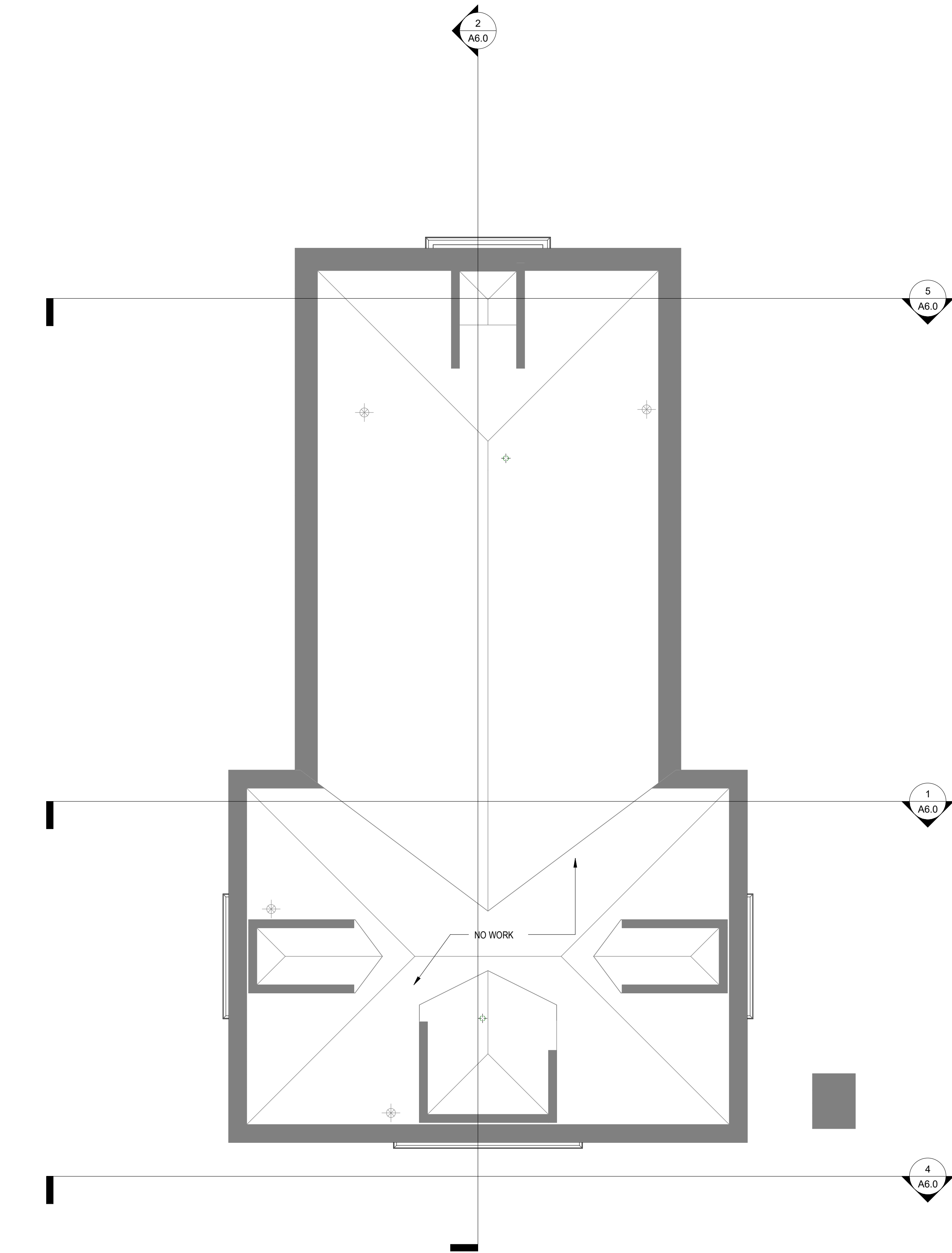
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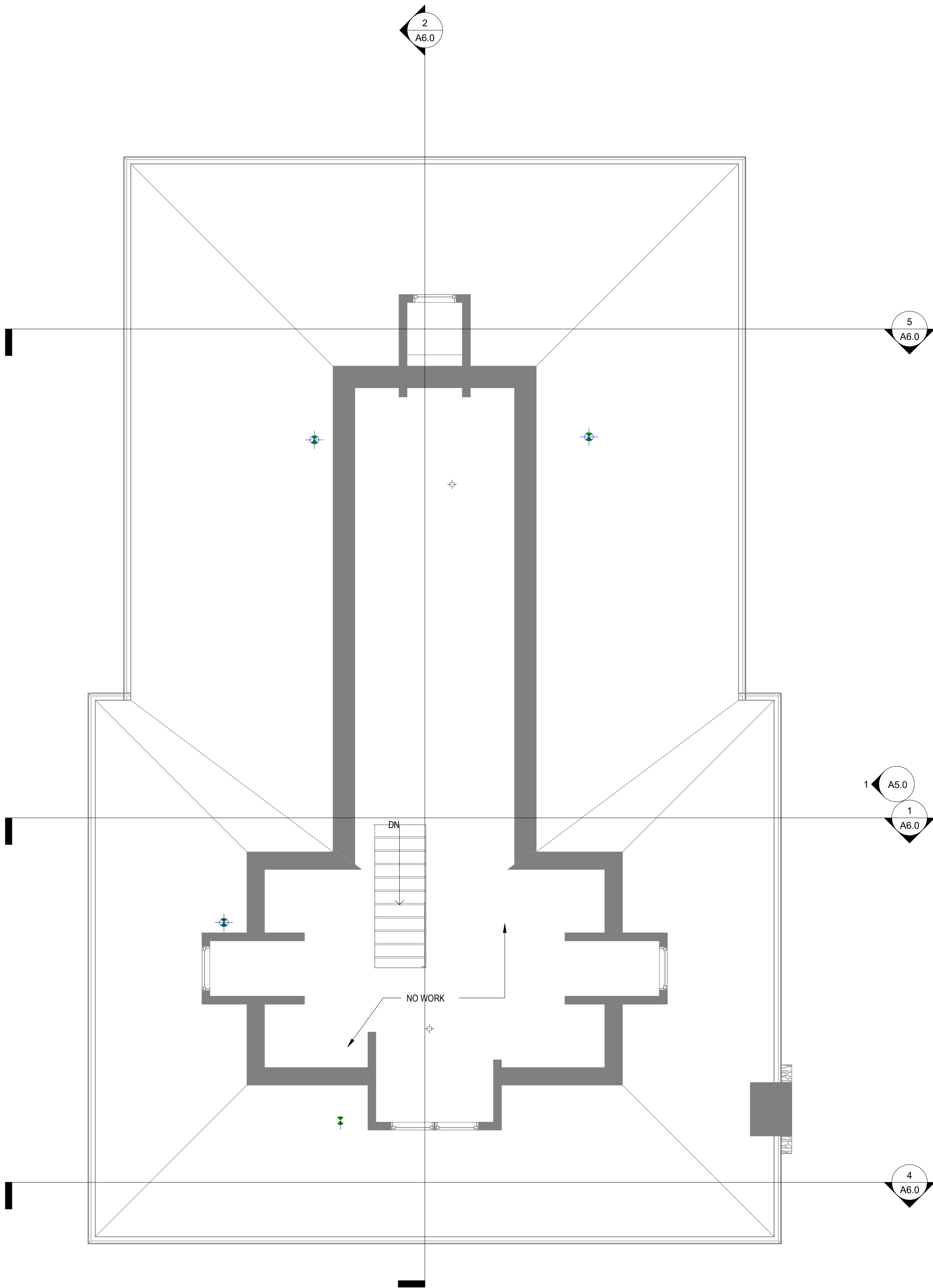
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② ATTIC RCP
1/4" = 1'-0"



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one north pack square
asheville, north carolina
28801

T1 828.281.2344
T2 828.231.1931

THE FARMHOUSE AT MONTE VISTA HOTEL
MONTE VISTA HOTEL

308 West State St.
Black Mountain NC 28711

Release / Revision Dates

No.	Description	Date
A	DD PHASE	1.31.24
B	HPC SUBMISSION	3.6.24

Permit Submittal Date

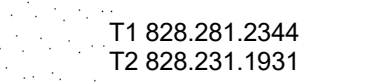
Issue Date

Sheet Title

ATTIC LEVEL

A2.3

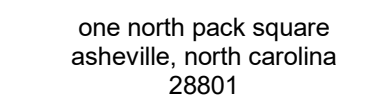
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308 West State St
Black Mountain NC 28711

A5.0

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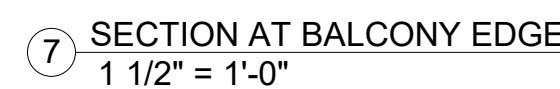
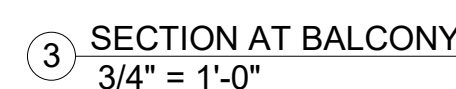
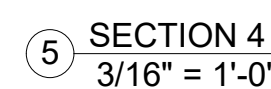
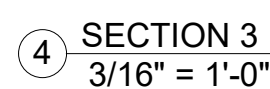
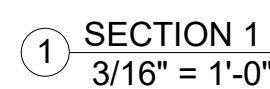
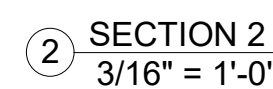
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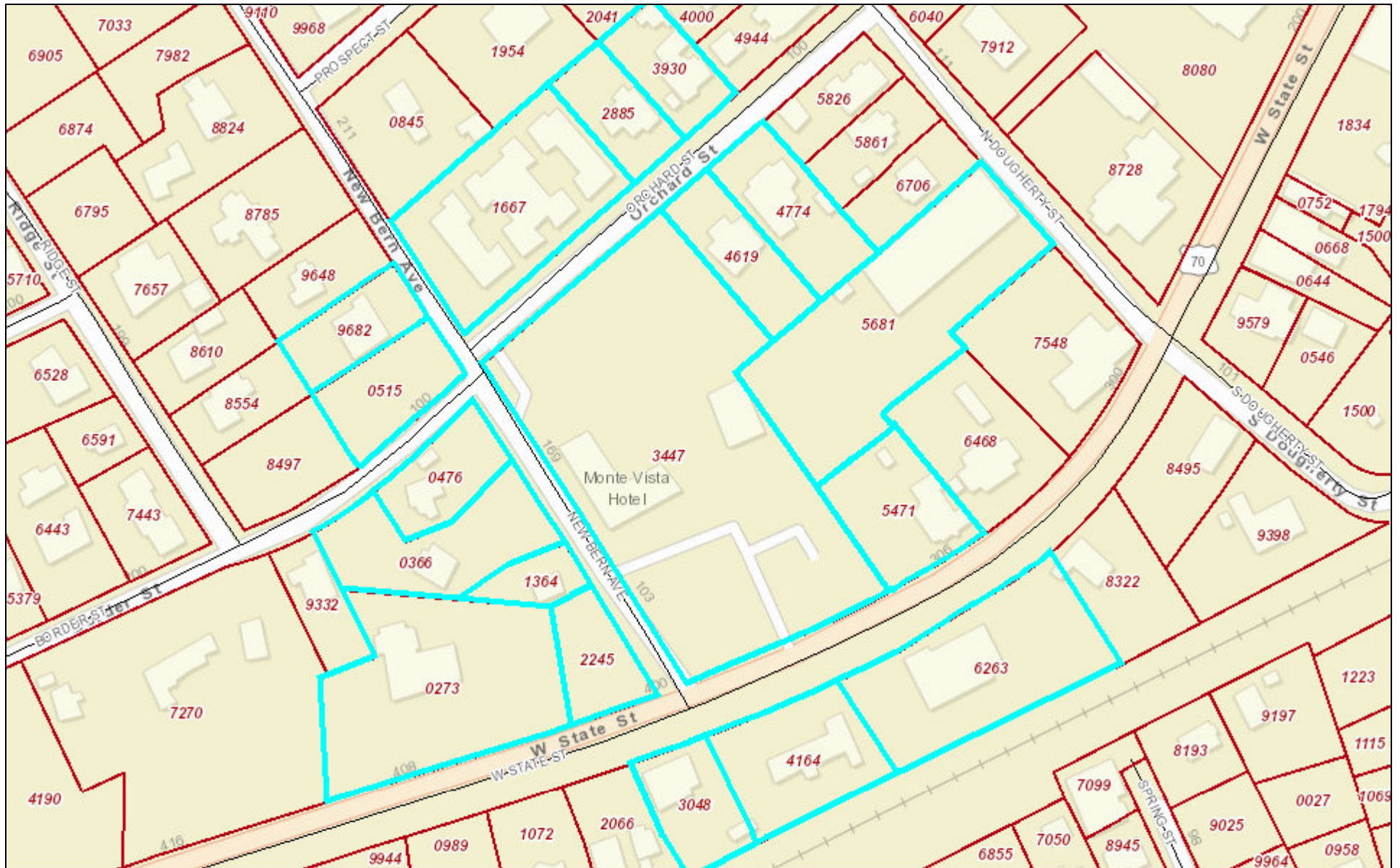
BUILDING SECTIONS + DETAILS

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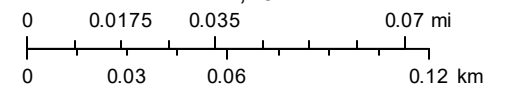


Buncombe County



March 5, 2024

1:2,257



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand),

PINNUM	OWNER	ADDRESS	CITYNAME
'061915968200000'	DHL VENTURES LLC	84 RICHLAND ST	ASHEVILLE
'061925027300000'	406HOUSELLC	406 W STATE ST	BLACK MTN
'061925036600000'	BRONTE S LAMM REVOCABLE TRUST	101 BORDER ST	BLACK MTN
'061925047600000'	BRONTE S LAMM REVOCABLE TRUST	101 BORDER ST	BLACK MTN
'061925051500000'	VELU GITA RATNA	1108 TIFFANY RD	SILVER SPRING
'061925136400000'	BRONTE S LAMM REVOCABLE TRUST	101 BORDER ST	BLACK MTN
'061925166700000'	ORCHARD OF BLK MTN CONDO UNIT OWNER	235 S LIBERTY ST	ASHEVILLE
'0619251667C0001'	PATRICIA TYSON GLASS REVOCABLE TRUST	1424 N 2ND ST	SHEBOYGAN
'0619251667C0002'	TYAS MARGARET A	24 SKY FOREST DR	SWANNANOA
'0619251667C0003'	COPE JANEY GREEN;COPE HEATH JUSTIN	69 GREEN FOREST RD	SWANNANOA
'0619251667C0004'	HUDSON J RICHARD III;HUDSON NANCY K	106 PLEASANT DRIVE CIR	BLACK MTN
'0619251667C0005'	POLVINO ANTHONY M;POLVINO MARJORIE H	9 FOXCHASE LN	LEBANON
'0619251667C0006'	BUELL KAREN S;BUELL ROY	307 LAUREL CIRCLE DR	BLACK MOUNTAIN
'0619251667C0007'	MEL AND BETH KEISER REVOCABLE TRUST	802 N FORK RD	BLACK MTN
'0619251667C0008'	JARRETT MARGARET PEARSALL;PEARSALL JERE RANDALL	3508 PRIMROSE AVE	GREENSBORO
'061925224500000'	BRISQUARED 101 NEW BERN AVE LLC	319 IDLEWILD AVE	RALEIGH
'061925288500000'	COX JANE G	12 BROWNTOWN RD	ASHEVILLE
'061925304800000'	NANCY C FLETCHER REVOCABLE LIVING TRUST	PO BOX 537	MONTREAT
'061925344700000'	NC-I RIDGELINE LLC	PO BOX 682	CLAYTON
'061925393000000'	GREEN ORCHARD LLC	100 ORCHARD ST	BLACK MOUNTAIN
'061925416400000'	THE STEPP-NICHOLS CO INC	PO BOX 1338	BLACK MTN
'061925461900000'	SYLVIA P CRAWFORD (TRUSTEE)	207 MOUNTAIN ST	BLACK MTN
'061925477400000'	FITZHUGH JENNIFER;MUDGETT MARY LOUISE	103 ORCHARD ST	BLACK MTN
'061925547100000'	WAGENER ALWIN E	306 W STATE ST	BLACK MTN
'061925568100000'	TOWN OF BLACK MOUNTAIN	160 MIDLAND AVE	BLACK MTN
'061925626300000'	STATE EMPLOYEES CREDIT UNION	PO BOX 26807	RALEIGH

[illegible]



Town of Black Mountain

160 MIDLAND AVENUE • BLACK MOUNTAIN, NORTH CAROLINA • 28711
PLANNING & DEVELOPMENT

Phone (828) 419-9300
Fax (828) 669-2030
TDD 1-800-735-2962

NOTICE OF REQUEST FOR A CERTIFICATE OF APPROPRIATENESS FOR A MAJOR WORK WITHIN THE HISTORIC DISTRICT

DATE: March 8, 2024

TO: Property Owner

**FROM: TOWN OF BLACK MOUNTAIN
PLANNING & DEVELOPMENT**

**PROPERTY DESCRIPTION/PIN #: 310 W State Street
0619-25-3447.00000**

An application for a Certificate of Appropriateness has been applied for by:
**NC-I Ridgeline LLC
PO Box 682
Clayton, GA 30525**

This Certificate of Appropriateness is requested to allow the property owner to:
Conversion of existing farmhouse into 10 hotel rooms. Exterior clapboard walls to be cleaned, repaired, and painted. Site modifications will create parking and ADA accessibility.

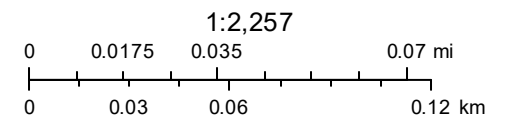
An Evidentiary Hearing will be held Wednesday, March 20, 2024, @ 6:00 P. M. in the Board Room of Town Hall, 160 Midland Avenue, Black Mountain, NC 28711.

The purpose of the historic district is to encourage the restoration, preservation, rehabilitation and conservation of historically, architecturally and archaeologically significant structures, buildings, sites, objects and their surroundings, and to review construction design to ensure compatibility with the character of the district. Under Section 4.7.3.14 (B) of the Land Use Code for the Town of Black Mountain, we are informing you as an adjoining property owner that there will be an evidentiary hearing to consider a request for a Certificate of Appropriateness for a major work within the District and that you may choose to show cause as to why this request should not be granted. If you have any questions regarding this Notice, please contact the Planning and Development Department at 828-419-9300.

Buncombe County



March 5, 2024





LEGAL NOTICE

BLACK MOUNTAIN HISTORIC PRESERVATION COMMISSION

SPECIAL CALL EVIDENTIARY HEARING

Wednesday, March 20, 2024, at 6:00 p.m.

The Black Mountain Historic Preservation Commission will meet in a special called meeting on **Wednesday, March 20, 2024, at 6:00 p.m.** in the Board Room in the Town Hall Building, 160 Midland Avenue, Black Mountain, NC. The purpose of this meeting is to hear a Certificate of Appropriateness request for 310 W. State Street, further identified as PIN #0619-25-3447.00000, to convert the existing farmhouse into ten guest rooms and add accessibility improvements.

The meeting is open to the public.

Jennifer Tipton
Senior Admin

The Town of Black Mountain is committed to providing accessible facilities, programs and services for all people in compliance with the Americans with Disabilities Act (ADA). Should you need assistance or a particular accommodation for this meeting please contact Jennifer Tipton at (828) 419-9371 or by email at Jennifer.tipton@tobm.org.

Posted to the Town Bulletin Board 02/29/2024
Published in the Black Mountain News 03/07/2024 and 03/14/2024

www.townofblackmountain.org